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REGISTERED ARCHITECT
CURTIS N. WILSON
EUGENE, OREGON
3543
STATE OF OREGON

City of Roseburg

Public Safety Center 3rd Floor Improvement

700 SE Douglas Ave, Roseburg, OR 97470

10/03/2024

THIS DRAWING SET IS PART OF THE CONSTRUCTION DOCMENTS SET FOR THIS PROJECT IN ADDITION TO THE PROJECT MANUAL.

SHEET INDEX

OWNER

City of Roseburg
900 S. E. Douglas Avenue
Roseburg, OR 97470
Contact: Desirae Morin

ARCHITECT

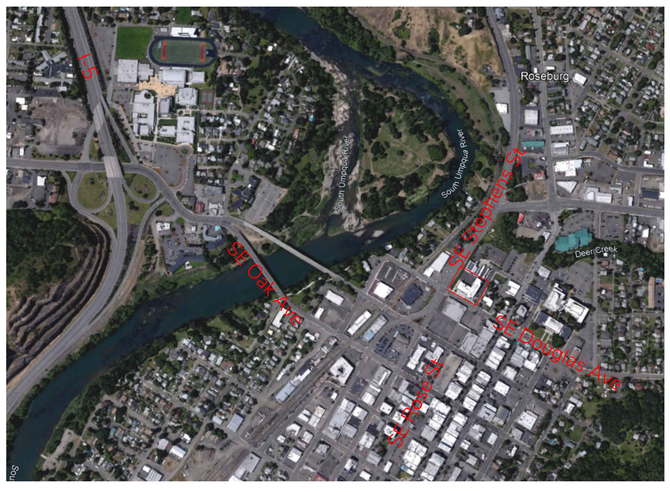
Wilson Architecture
86530 Sanford Rd
Eugene, OR 97402
Contact: Curt Wilson, AIA

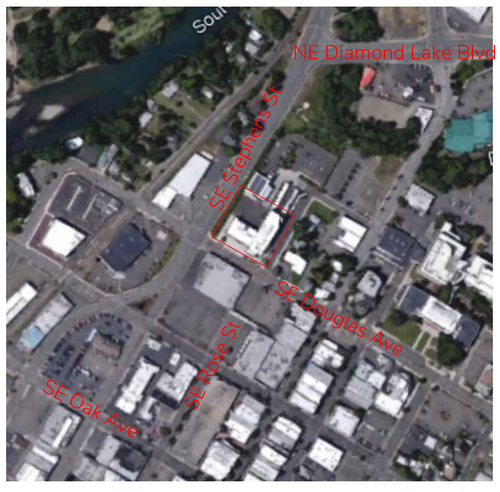
MECHANICAL ENGINEER

Systems West Engineers
725 A Street
Springfield, OR 97477
Contact: Steven Savich

ELECTRICAL ENGINEER

Paradigm Engineering
85193 Appletree Drive
Eugene, OR 97405
Contact: Jim Krumsick, PE





VICINITY MAP

Construction Documents
City of Roseburg
PSC 3rd Floor Improvements

Title Sheet

PROJECT: 22022
CHECKED: CW
DATE: 10.03.2024 REVISIONS:

T1

SYMBOLS

GRID LINE

SECTION REFERENCE — DETAIL # / SHEET #

DETAIL REFERENCE — DETAIL # / SHEET #

ELEVATION REFERENCE — DETAIL # / SHEET #

OFFICE / 108 — ROOM NAME / ROOM NUMBER

DOOR NUMBER. SEE SHEET A180

WINDOW AND/OR RELITE REFERENCE

IC6.16M0.0 — WALL ASSEMBLY. SEE SHEET A160.

TOP OF WALL TYPE. SEE SHEET A151.

KEYNOTE SYMBOL

CEILING ELEVATION

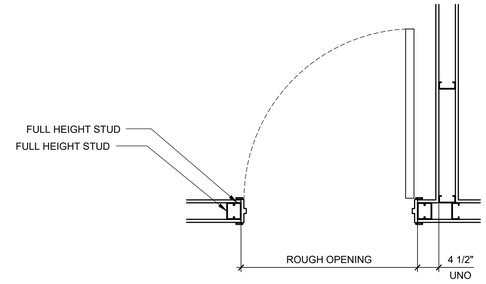
VERTICAL ELEVATION REFERENCE

SHEAR WALL TYPE

HOLD DOWN TYPE

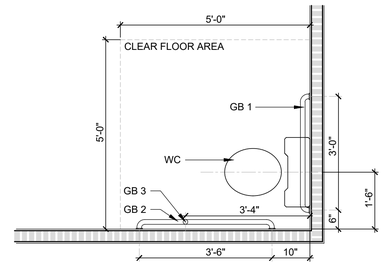
ABBREVIATIONS

A.B.	ANCHOR BOLT	M,H,	MANHOLE
A.C.	ASPHALTIC CONCRETE	MIN.	MINIMUM
ACT	ACOUSTICAL CEILING TILE	MIR	MIRROR
ADD'L	ADDITIONAL	MISC	MISCELLANEOUS
A.D.	AREA DRAIN	M.P.	MID-POINT
AFF	ABOVE FINISH FLOOR	M.S.	MACHINE SCREW
ARCH.	ARCHITECT	MNTD	MOUNTED
BITUM.	BITUMINOUS	MTL	METAL
BD	BOARD	MUL	MULLION
B.O.	BOTTOM OF	N.I.C.	NOT IN CONTRACT
C.B.	CATCH BASIN	NLB	NON-LOAD BEARING
C.I.	CAST IRON	NOM.	NOMINAL
C.J.	CONTROL JOINT	NTS	NOT TO SCALE
CL	CENTER LINE	OC	ON CENTER
CLR	CLEAR	O.D.	OUTSIDE DIAMETER
CLG	CEILING	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
CMU	CONCRETE MASONRY UNIT	OFOI	OWNER FURNISHED, OWNER INSTALLED
CONC	CONCRETE	OFD	OVER-FLOW DRAIN
CONT	CONTINUOUS	OPP.	OPPOSITE
CPT	CARPET	OWJ	OPEN WEB JOIST
C.T.	CERAMIC TILE	PCF	POUNDS PER CUBIC FEET
D.L.	DEAD LOAD	PEMB	PRE-ENGINEERED METAL BUILDING
DIA. (ø)	DIAMETER	PL	PLATE
DS	DOWNSPOUT	PLN	PLAN
DWG	DRAWING	PLUMB	PLUMBING
E.W.	EACH WAY	PNT	PAINT
EXST	EXISTING	P.B.	PORCELAIN TILE
E.P.	EXPANSION JOINT	PSI	POUNDS PER SQUARE INCH
ELEC	ELECTRICAL	PSF	POUNDS PER SQUARE FEET
ELEV	ELEVATION	PT	POST TENSION
EQ	EQUAL	PTN	PARTITION
EXT	EXTERIOR	RAD	RADIUS
F.A.	FIRE ALARM	RCP	REFLECTED CEILING PLAN
F.D.	FLOOR DRAIN	RD	ROOF DRAIN
F.E.	FIRE EXTINGUISHER	REF.	REFERENCE
F.E.C.	FIRE EXTINGUISHER CABINET	REINF	REINFORCING
FFE	FINISH FLOOR ELEVATION	REQ'D	REQUIRED
FIN.	FINISH	R.O.	ROUGH OPENING
FLR.	FLOOR	S.C.	SOLID CORE
F.O.	FACE OF	SCHED	SCHEDULE
FRM'G	FRAMSING	SHT	SHEET
FT.	FOOT	SIM	SIMILAR
FTG	FOOTING	SM	SHEET METAL
FTR	FUTURE	SMS	SHEET METAL SCREW
GA	GAUGE	SOG	SLAB ON GRADE
GALV.	GALVANIZED	SPEC	SPECIFICATIONS
GL	GRID LINE	SQ	SQUARE
GLB	GLUE LAM BEAM	SS	STAINLESS STEEL
GB	GRAB BAR	STD	STANDARD
GND	GROUND	STRUCT.	STRUCTURAL
GYP	GYPSUM	S.T.S	SELF-TAPPING SCREW
GALW.	INCH	SUSP.	SUSPEND
H.B.	HOSE BIB	SYM.	SYMMETRICAL
H.M.	HOLLOW METAL	THRU	THROUGH
HOR.	HORIZONTAL	T&B	TOP AND BOTTOM
HSS	HOLLOW STRUCTURAL STEEL	T.O.	TOP OF
I.D.	INSIDE DIMENSION	THK.	THICK
INT	INTERIOR	TRD.	THREAD
J.B.	JUNCTION BOX	T&G	TONGUE AND GROOVE
JT	JOINT	TB	TOWEL BAR
LAM.	LAMINATE	TJ	TRUSS JOIST
LBS.	POUNDS	TYP	TYPICAL
L.L.	LIVE LOAD	UNO	UNLESS NOTED OTHERWISE
LOC.	LOCATION	VERT.	HORIZONTAL
LONG.	LONGITUDINAL	VER.	VERIFY
MAX.	MAXIMUM	V.I.C.	VERIFY IN FIELD
MDF	MEDIUM DENSITY FIBERBOARD	V.T.R.	VENT THROUGH ROOF
MDO	MEDIUM DENSITY OVERLAY	WC	WATER CLOSET
MECH	MECHANICAL	WF	WIDE FLANGE
MEP	MECHANICAL, ELECTRICAL, PLUMBING	W/	WITH
MEMB.	MEMBRANE	W/O	WITHOUT
MFR	MANUFACTURER	W.O.	WINDOW OPENING
		WOM	WALK OFF MAT



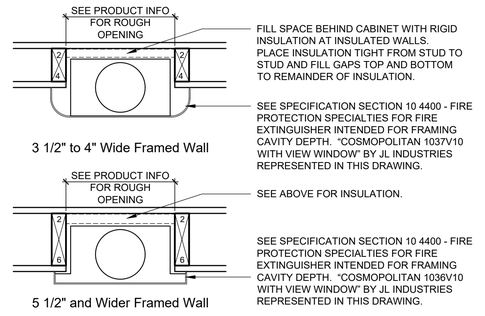
Door Opening at Intersection Walls 1

3/4" = 1'-0" — Metal Stud Framing - Plan



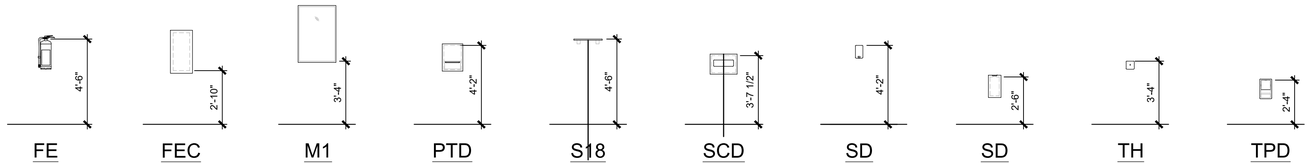
Accessible Water Closet 2

1/2" = 1'-0" — Plan



Fire Extinguisher Cabinet 3

1 1/2" = 1'-0" — Wall Opening Standard Details - Plan Details



FE — Fire Extinguisher

FEC — Fire Extinguisher Cabinet

M1 — Mirror (24" x 36")

PTD — Paper Towel Dispenser

S18 — Shelf (18")

SCD — Seat Cover Dispenser

SD — Soap Dispenser

SD — Sanitary Napkin Disposal (Recessed)

TH — Towel Hook

TPD — Toilet Paper Dispenser

GB's — WC Back Wall

GB's — WC Side Wall

1/4" = 1'-0"

Mounting Height Schedule 4

General Schedule - See Interior Elevations for Additional Requirements

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Construction Documents

City of Roseburg

PSC 3rd Floor Improvements

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Abbreviations, Symbols, and Standard Components

G001

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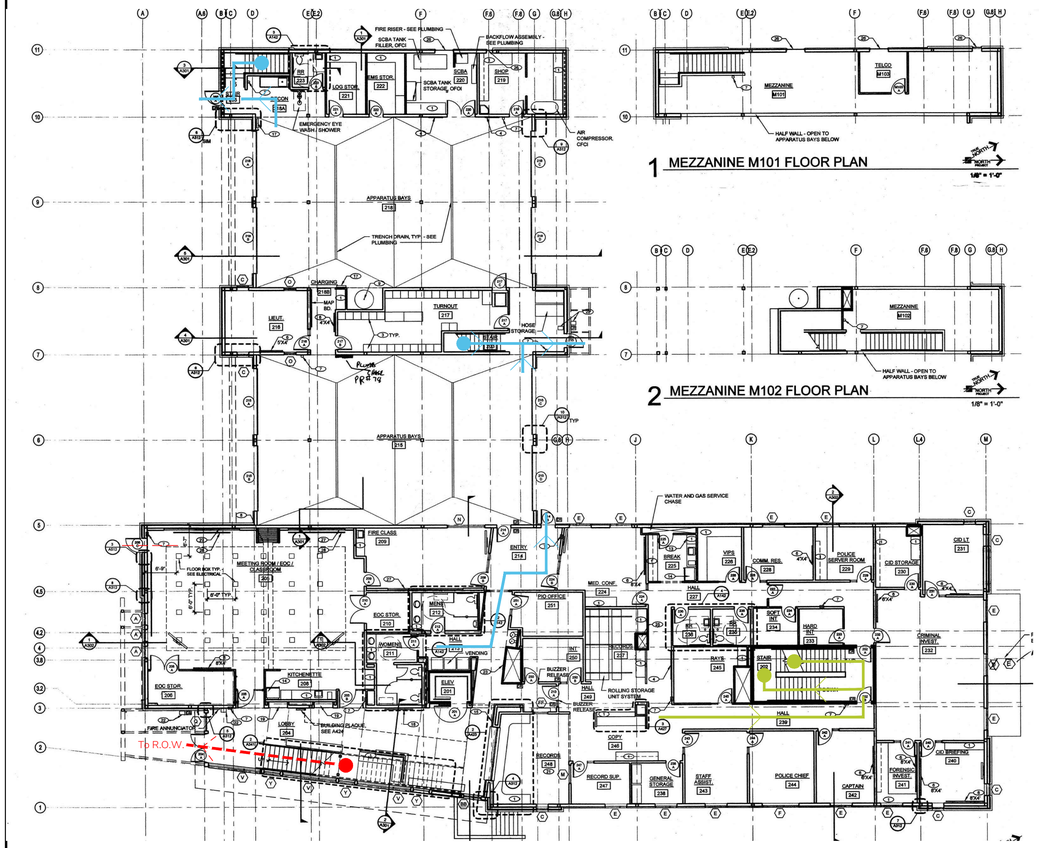
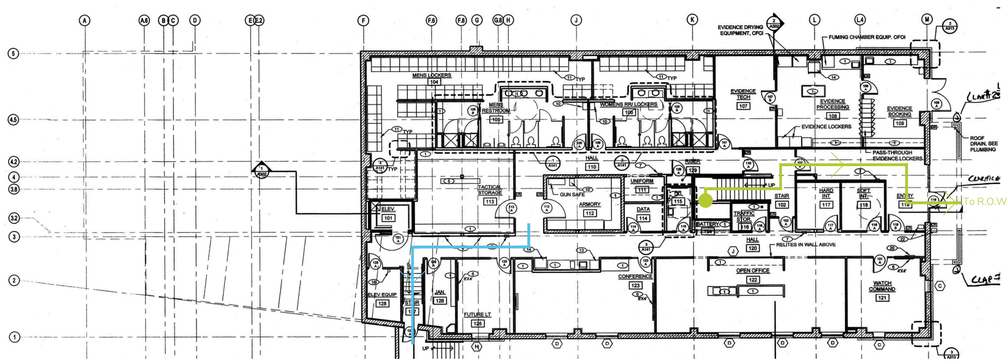


Floor Plan 2
Not To Scale — Second Floor / Ground Level

Floor Plan 3
Not To Scale — Third Floor / Upper Level



Floor Plan 1
Not To Scale — First Floor / Lower Level

GENERAL NOTES - FLOOR PLAN

a. THE PURPOSE OF THIS DRAWING IS TO DESCRIBE THE EGESS SYSTEM THROUGHOUT THE BUILDING.

b. SEE SHEET G113.1 FOR EGRESS ROUTES IN THE IMPROVEMENT AREA OF THE BUILDING.

Construction Documents
City of Roseburg
PSC 3rd Floor Improvements

PROJECT: 22022
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Existing Conditions
Floor Plans - All Levels

G010

LEGEND

MEZZANINE	248 sf	(1)	# of Occupants
Accessory Storage	300 g	1	# of Exits

Space Name
Area
Occ Load Factor
Function (per Table 1004.5)

28 — OCCUPANTS AT EXITS AND/OR DOORS

COMMON PATH OF TRAVEL (ROUTE)

EXIT ACCESS (ROUTE)

— TRAVEL DISTANCE; THIS SEGMENT

C.P.O.T. — Actual 69' / Allowed 100' — COMMON PATH OF TRAVEL (DISTANCE) (Per Table 1006.2.1)

E.A.T.D. — Actual 102' / Allowed 200' — EXIT ACCESS TRAVEL DISTANCE (DISTANCE) (Per Table 1017.2)

6 FEC — FIRE EXTINGUISHER AND CABINET

FE — FIRE EXTINGUISHER (SURFACE MOUNT)

EXIT — EXIT SIGN

BUILDING CODE NOTES continued

FIRE EXTINGUISHERS

SEE PLAN FOR LOCATION.

OFFICE AREAS
- HAZARD LEVEL: LIGHT HAZARD
- TYPE AND SIZE: 2A:10BC, 10 LB.
- TRAVEL DISTANCE TO EXTINGUISHER (MAX): 75 lf
- AREA PER EXTINGUISHER (MAX): 6,000 sf

WAREHOUSE/SHOP AREAS (HIGH PILED STORAGE)
- HAZARD LEVEL: EXTRA HAZARD
- TYPE AND SIZE: 4A:10BC, 10 LB.
- TRAVEL DISTANCE TO EXTINGUISHER (MAX): 75 lf
- AREA PER EXTINGUISHER (MAX): 1,000 sf

MOUNTING HEIGHT TO TOP OF EXTINGUISHER: 48 in

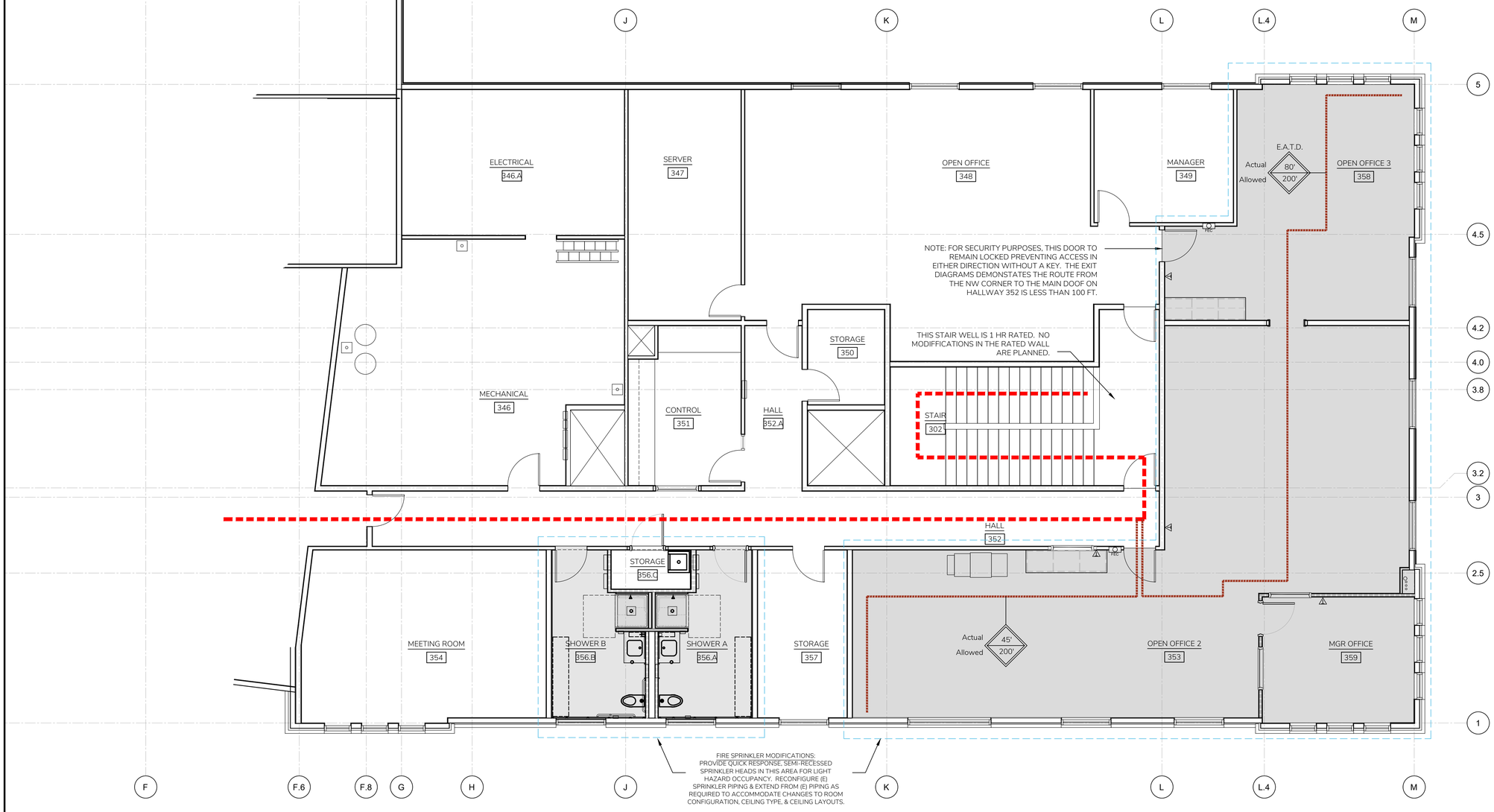
CABINET, WHERE OCCURS: NON-LOCKING, PARTIAL GLASS FRONT

DEFERRED SUBMITTAL(S)

- FIRE SPRINKLERS MODIFICATIONS
- FIRE ALARM MODIFICATIONS
- MECHANICAL EQUIPMENT ANCHORAGE

SPECIAL INSPECTION REQUIREMENTS

- NONE



0' 2'-8" 5'-4" 10'-8"
3/16" = 1'-0"

Code Diagram
Third Floor - NE 1

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SCOPE OF WORK SUMMARY

THE IMPROVEMENTS SHOWN ARE LOCATED ON THE NORTH WING OF THE UPPER LEVEL (THIRD FLOOR) OF THE ROSEBURG PUBLIC SAFETY CENTER. TWO IMPROVEMENT AREA AS DESCRIBED BELOW CONSTITUTE THIS PROJECT. THE IMPROVEMENTS ARE TENANT IMPROVEMENTS WITHIN CURRENT SPACES AND DO NOT ALTER THE BUILDING'S EGRESS SYSTEM OR THE THERMAL ENVELOPE, EXCEPT TO REPLACE TWO INSULATED GLAZING UNITS WITH NEW INSULATED GLAZING UNITS WITH SPANDREL COATING.

IMPROVEMENT AREA A - OFFICE TI. THIS AREA OF THE BUILDING WAS NOT FINISHED IN THE ORIGINAL CONSTRUCTION AND PLANNED FOR FUTURE OFFICE USE. THE IMPROVEMENTS INCLUDE NEW FINISHES, UPDATED HVAC SYSTEM, NEW LIGHTING, POWER, AND DATA, AND MODIFIED FIRE SPRINKLER SYSTEM.

IMPROVEMENT AREA B - SHOWERS. THIS IMPROVEMENT ADDS TWO NEW SINGLE OCCUPANT SHOWERS AND STORAGE ROOM IN AN AREA CURRENTLY USED FOR MISC STORAGE.

BUILDING CODE NOTES

GENERAL INFORMATION

ADDRESS: --
--

DATE OF ORIGINAL CONSTRUCTION: 2008

GROSS BUILDING AREA (NOT INCLUDE ROOF OVERHANG)

FLOOR AREA	
FIRST FLOOR/ LOWER LEVEL	7,386 sf
SECOND FLOOR/ GROUND LEVEL	17,001 sf
THIRD FLOOR/ UPPER LEVEL	17,318 sf
OVERHANGS	574 sf
TOTAL	42,279 sf

APPLICABLE CODE: 2022 OSSC

CONSTRUCTION TYPE: TYPE VB- 0 HR RATING. FIRE SPRINLERED.

OCCUPANCY

THE BUILDING IS A MIXED, NON-SEPARATED BUILDING WITH B, A, S1, AND R2 OCCUPANCIES. THE S1 AND R2 OCCUPANCIES ARE THE FIRE STATION WING. THE NORTH WING WITH THE POLICE STATION IS ALL B OCCUPANCY. THE IMPROVEMENTS ARE OFFICE SPACE AND SHOWERS FOR EMPLOYEES, THEREFORE B OCCUPANCY.

OCCUPANT LOAD

OCCUPANT LOAD FACTOR: 150

AT THE TIME THE BUILDING WAS PERMITTED, THE OCCUPANT LOAD FOR BUSINESS USE WAS 100 GROSS, NOW IT IS 150 GROSS, THEREFORE NO INCREASED IN THE PLANNED OCCUPANCY FOR THE BUILDING.

ALLOWABLE AREA

NO INCREASE IN BUILDING AREA.

MEANS OF EGRESS SIZING

THE OCCUPANT LOAD OF THIS PROJECT WAS PROJECTED WHEN THE BUILDING WAS ORIGINALLY PERMITTED, THEREFORE NO INCREASE ON THE EGRESS SYSTEM.

PERMIT NUMBER: tbd

Construction Documents

City of Roseburg

PSC 3rd Floor Improvements

Code Diagram - Third Floor - NE

PROJECT: 22022
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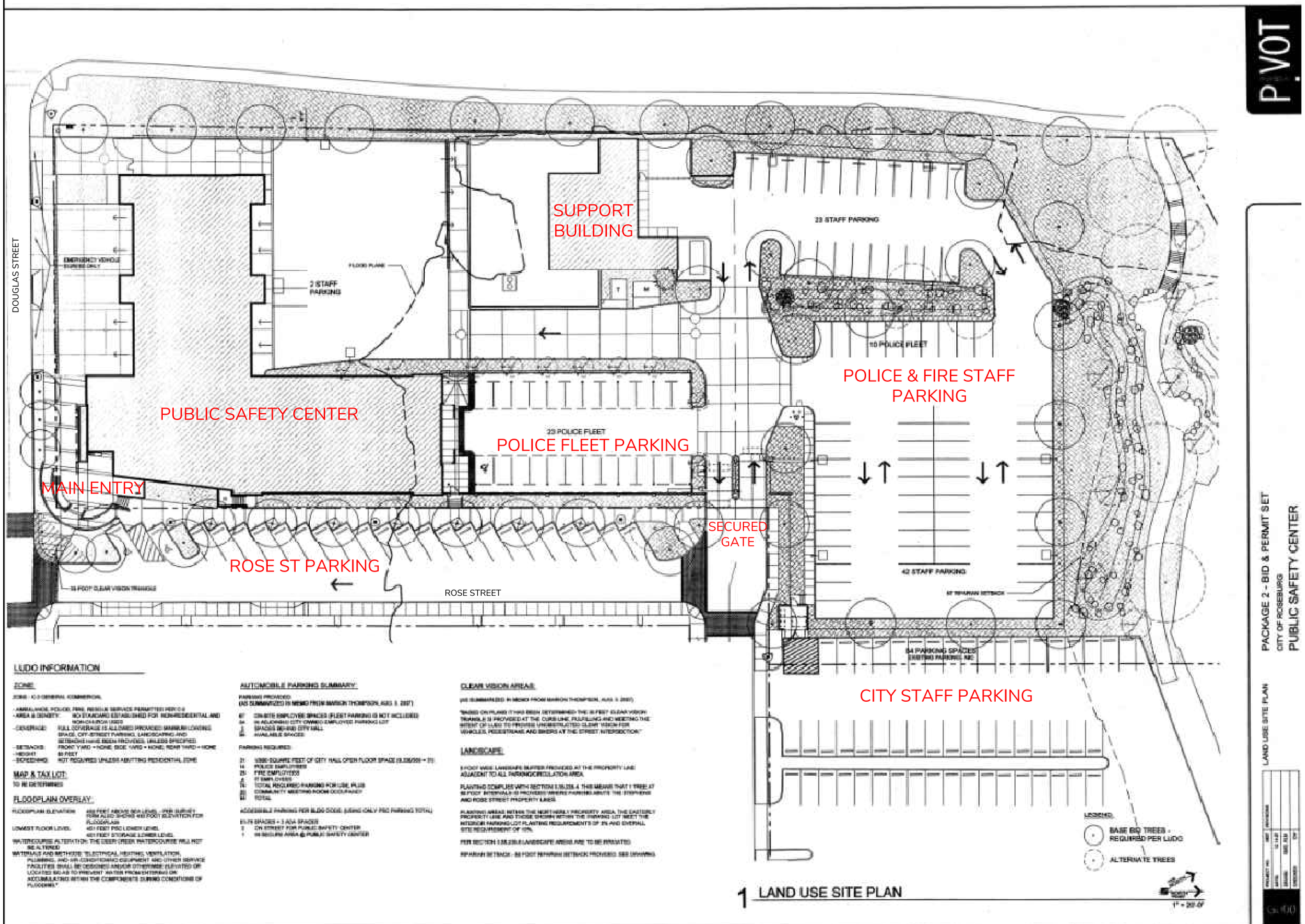
G113.3



LUDO INFORMATION

ZONE:

ZONE - IC (I) GENERAL COMMERCIAL

- ALLOWABLE POLICE, FIRE, RESCUE SERVICE PERMITTED PER I.C.
- AREA & DENSITY: NO STANDARD ESTABLISHED FOR NON-RESIDENTIAL AND NONCONFORMING USES
- COVERAGE: FULL COVERAGE IS ALLOWED PROVIDED MINIMUM LOADING SPACE, OFF-STREET PARKING, LANDSCAPING AND SETBACKS HAVE BEEN PROVIDED, UNLESS SPECIFIED
- SETBACKS: FRONT YARD = NONE, SIDE YARD = NONE, REAR YARD = NONE
- HEIGHT: 80 FEET
- SCREENING: NOT REQUIRED UNLESS ABUTTING RESIDENTIAL ZONE

MAP & TAX LOT:

TO BE DETERMINED

FLOODPLAIN OVERLAY:

FLOODPLAIN ELEVATION: 468 FEET ABOVE SEA LEVEL - (PER SURVEY FORM ALSO SHOWS 466 FOOT ELEVATION FOR FLOODPLAIN)

LOWEST FLOOR LEVEL: 451 FEET PSC LOWER LEVEL; 451 FEET STORAGE LOWER LEVEL

WATERCOURSE ALTERATION: THE DEER CREEK WATERCOURSE WILL NOT BE ALTERED

MATERIALS AND METHODS: "ELECTRICAL, HEATING, VENTILATION, PLUMBING, AND AIR-CONDITIONING EQUIPMENT AND OTHER SERVICE FACILITIES SHALL BE DESIGNED AND/OR OTHERWISE ELEVATED OR LOCATED SO AS TO PREVENT WATER FROM ENTERING OR ACCUMULATING WITHIN THE COMPONENTS DURING CONDITIONS OF FLOODING."

AUTOMOBILE PARKING SUMMARY:

PARKING PROVIDED:
(AS SUMMARIZED IN MEMO FROM MARION THOMPSON, AUG. 3, 2007)

- 87 ON-SITE EMPLOYEE SPACES (FLEET PARKING IS NOT INCLUDED)
- 84 IN ADJOINING CITY OWNED EMPLOYEE PARKING LOT
- 3 SPACES (NO-ENS) CITY HALL
- 84 AVAILABLE SPACES

PARKING REQUIRED:

- 21 1/300 SQUARE FEET OF CITY HALL OPEN FLOOR SPACE (6,336/300 = 21)
- 14 POLICE EMPLOYEES
- 23+ FIRE EMPLOYEES
- 4 PT EMPL OYEES
- 74+ TOTAL REQUIRED PARKING FOR USE, PLUS
- 20 COMMUNITY MEETING ROOM OCCUPANCY
- 91 TOTAL

ACCESSIBLE PARKING PER BLDG CODE (USING ONLY PSC PARKING TOTAL)

- 51-75 SPACES = 3 ADA SPACES
- 2 ON STREET FOR PUBLIC SAFETY CENTER
- 1 IN SECURE AREA @ PUBLIC SAFETY CENTER

CLEAR VISION AREAS:

(AS SUMMARIZED IN MEMO FROM MARION THOMPSON, AUG. 3, 2007)

"BASED ON PLANS IT WAS DECH. DETERMINED THE 55 FEET CLEAR VISION TRIANGLE IS PROVIDED AT THE CURB LINE, FULFILLING AND MEETING THE INTENT OF LUBO TO PROVIDE UNOBSTRUCTED CLEAR VISION FOR VEHICLES, PEDESTRIANS AND BIKERS AT THE STREET INTERSECTION."

LANDSCAPE:

5 FOOT WIDE LANDSCAPE BUFFER PROVIDED AT THE PROPERTY LINE ADJACENT TO ALL PARKING/CIRCULATION AREA

PLANTING COMPLIES WITH SECTION 3.35.035.4. THIS MEANS THAT 1 TREE AT 50 FOOT INTERVALS IS PROVIDED WHERE PARKING ABUTS THE STEPHENS AND ROSE STREET PROPERTY LINES.

PLANTING AREAS WITHIN THE NORTHERLY PROPERTY AREA, THE EASTERLY PROPERTY LINE AND THOSE SHOWN WITHIN THE PARKING LOT MEET THE INTERIOR PARKING LOT PLANTING REQUIREMENTS OF 5% AND OVERALL SITE REQUIREMENT OF 15%.

PER SECTION 3.35.035.6 LANDSCAPE AREAS ARE TO BE PRIVATELY

RIPARIAN SETBACK - 50 FOOT RIPARIAN SETBACK PROVIDED. SEE DRAWING

1 LAND USE SITE PLAN
1" = 20'-0"

P.VOT

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Site Plan from original building project circa 2008. Provided for reference only.

No scope of work is shown here, however contractor site areas for deliveries and parking are referenced here.

PACKAGE 2 - BID & PERMIT SET
CITY OF ROSEBURG
PUBLIC SAFETY CENTER

LAND USE SITE PLAN

Construction Documents
City of Roseburg
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Site Plan

PROJECT: 22022
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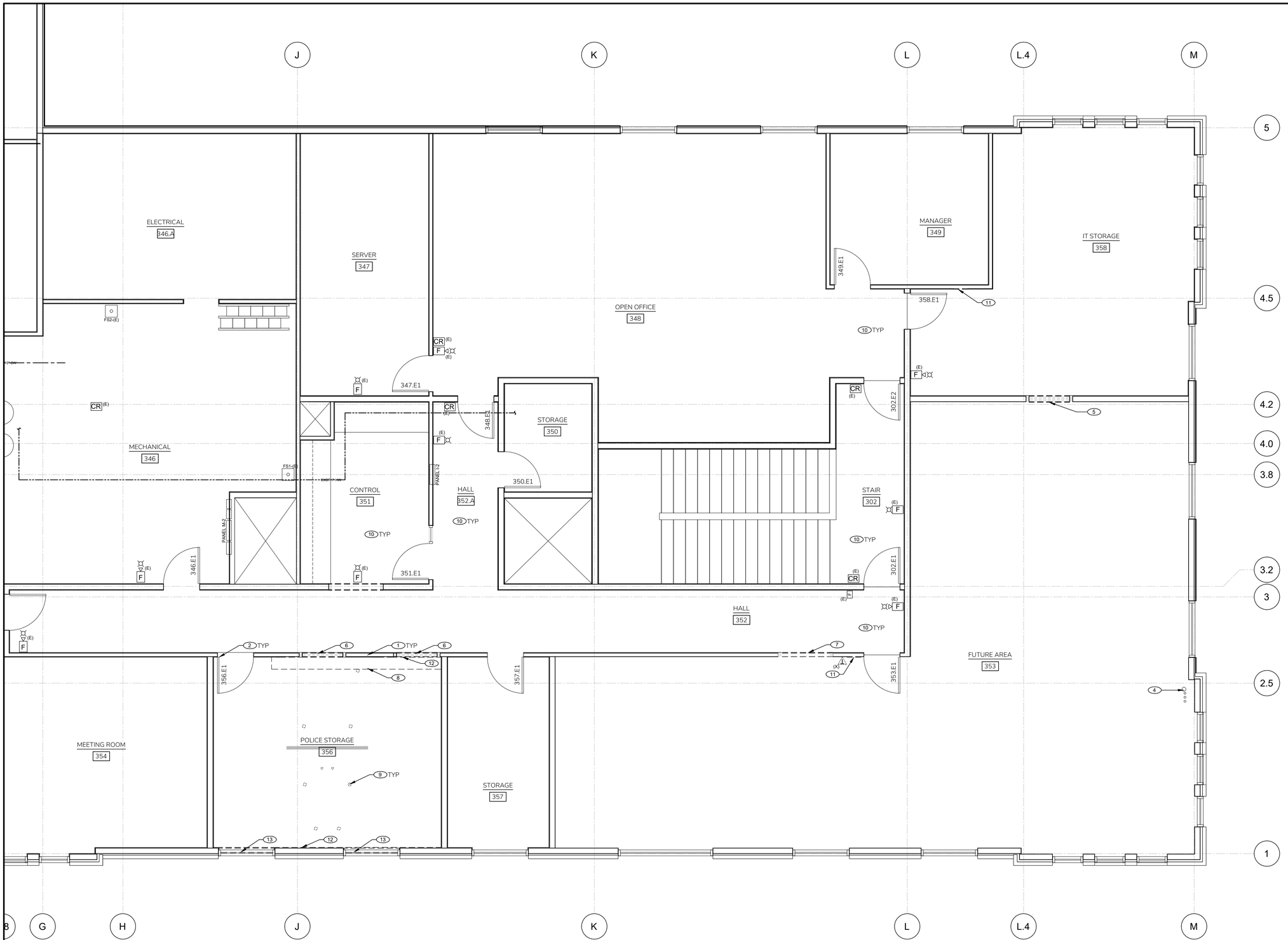
A001



0' 2" 4' 8'

1/4" = 1'-0"

Floor Plan 1

Third Floor - NE

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GENERAL NOTES

A. SEE SPECIFICATION SECTION 02 4100 - DEMOLITION FOR DEMOLITION-RELATED NOTES.

B. SEE SHEETS A113.3 AND A160 FOR LOCATIONS OF EXST WALL ASSEMBLIES.

C. PROTECT EXISTING ELEMENTS NOT SCHEDULED NOR NECESSARY FOR REMOVAL TO ACCOMMODATE NEW WORK.

D. REMOVE AND REPLACE ALL RUBBER BASE AT LOCATIONS OF NEW FLOORING. FIELD VERIFY HEIGHT OF EXISTING RUBBER BASE AND MATCH.

E. REPRESENTATION OF EXISTING CEILING AS SHOWN HERE IS DIAGRAMMATIC. VERIFY EXISTING CEILING LAYOUT AND REMOVE CEILING SYSTEM COMPONENTS AS NECESSARY TO ACCOMMODATE NEW WORK AND TO RETAIN THE INTEGRITY OF THE EXST CEILING GRID TO REMAIN. SALVAGE ALL COMPONENTS FOR REINSTALLATION.

F. FIELD VERIFY AND LOCATE ALL POWER OUTLETS, LIGHT SWITCHES, DATA PORTS, HVAC SENSORS AND CONTROLS, AND OTHER COMPONENTS OF FUNCTIONING SYSTEMS THAT WILL BE IMPACTED BY THE CONSTRUCTION AND RELOCATE AS DESCRIBED IN THIS DRAWINGS, OR IF NOT SHOWN, RELOCATE TO AN ADJACENT WALL (FOR WALL DEVICES) OR CEILING (FOR CEILING DEVICES) NOT IMPACTED BY CONSTRUCTION. VERIFY THE RELOCATION WITH THE ARCHITECT PRIOR TO REMOVAL FOR APPROVAL.

KEYNOTES - DEMO PLAN

1. EXST WALL
2. EXST DOOR
3. EXST WINDOW
4. EXST EXPOSED CONDUIT. PROTECT DURING CONSTRUCTION.
5. CREATE OPENING IN EXST WALL. SEE SHEETS A113.3 AND A161 FOR MORE INFORMATION.
6. CREATE OPENING IN EXST WALL FOR NEW DOOR. SEE SSHEETS A113.3 AND A161 FOR MORE INFORMATION.
7. CREATE OPENING IN EXST WALL FOR NEW RELITE FRAME ASSEMBLY. SEE SHEETS A113.3 AND A161 FOR MORE INFORMATION.
8. DEMO CABINET BASE AND UPPER CASEWORK UNIT.
9. COORDINATE CORING INTO EXST CONCRETE DECK WITH PLUMBING FOR WASTE PIPING.
10. EXST FLOOR TO REMAIN. PROTECT FROM DAMAGE.
11. PREP OPENING FOR FEC.
12. DEMO GYP BOARD ON THIS WALL IN ADDITION DEMOLITION DESCRIBED ELSEWHERE.
13. REMOVE EXST INSULATED GLAZING UNIT (IGU). FRAME TO REMAIN.

WALL LEGEND - DEMO PLAN

EXST WALL TO REMAIN

EXST FRAM'G REMAIN, DEMO FINISH

DEMO WALL

Construction Documents

City of Roseburg

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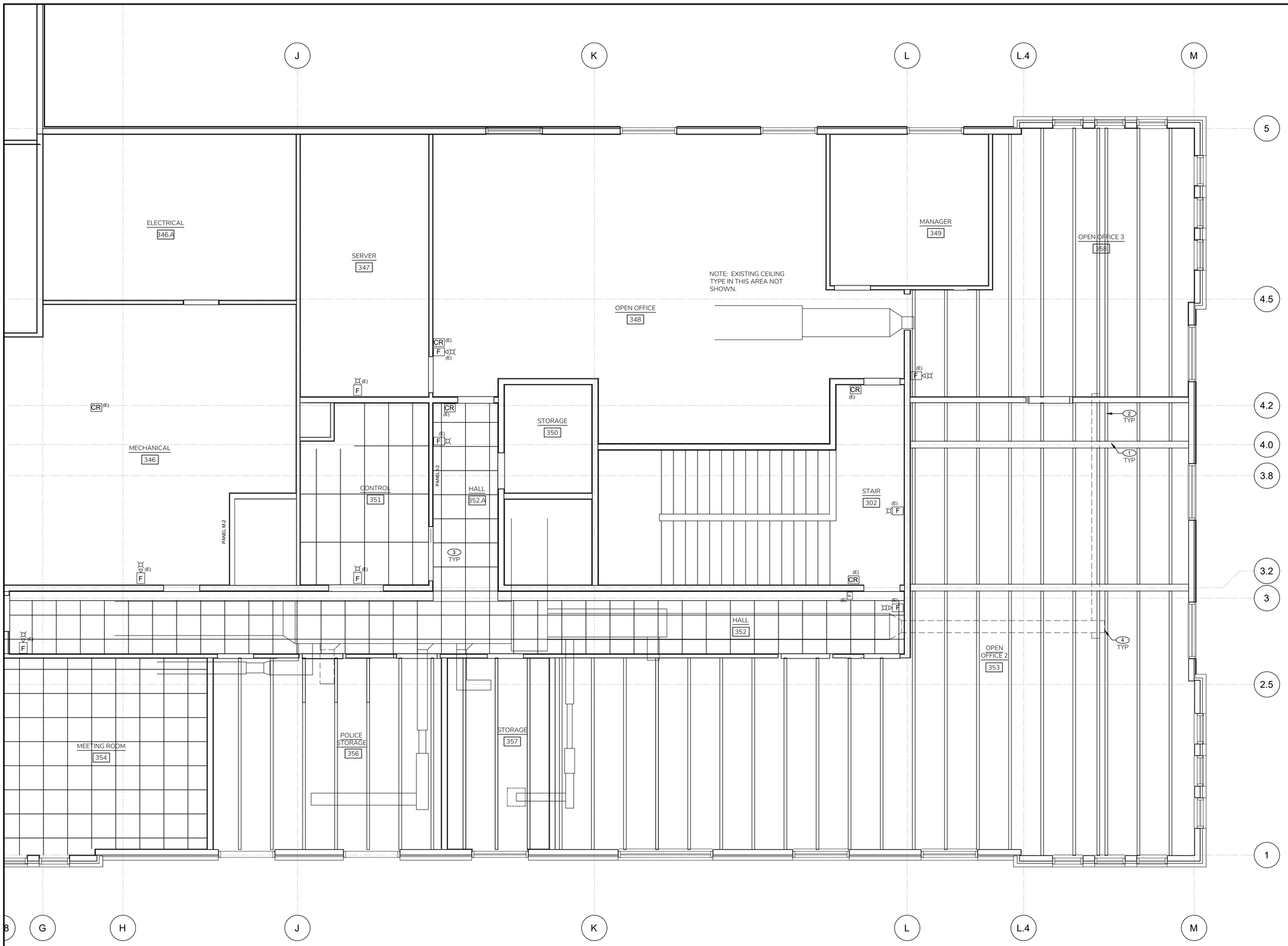
Floor Plan - Third Floor - NE

D113.3



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GENERAL NOTES - DEMO CEILING

a. SEE SPECIFICATION SECTION 02 4100 - DEMOLITION FOR DEMOLITION-RELATED NOTES.

b. PROTECT EXISTING ELEMENTS NOT SCHEDULED NOR NECESSARY FOR REMOVAL TO ACCOMMODATE NEW WORK.

c. REPRESENTATION OF EXISTING CEILING AS SHOWN HERE IS DIAGRAMMATIC. VERIFY EXISTING CEILING LAYOUT AND REMOVE CEILING SYSTEM COMPONENTS AS NECESSARY TO ACCOMMODATE NEW WORK AND TO RETAIN THE INTEGRITY OF THE EXST CEILING GRID TO REMAIN. SALVAGE ALL COMPONENTS FOR REINSTALLATION.

d. SEE PLUMBING, MECHANICAL, AND ELECTRICAL SHEETS FOR MODIFICATIONS.

e. EXST LIGHT FIXTURES IN SPACES TO BE IMPROVED NOT SHOWN HERE. FIELD VERIFY AND DEMO AS APPROPRIATE FOR NEW LIGHTING.

f. EXST FIRE SPRINKLERS IN THE SPACES TO BE IMPROVED NOT SHOWN HERE. FIELD VERIFY AND MODIFY AS APPROPRIATE.

KEYNOTES - DEMO CEILING PLAN

1. EXST ROOF BEAM
2. EXST ROOF JOIST
3. EXST CEILING TO REMAIN.
4. SEE MECHANICAL FOR EXST DUCTWORK TO REMAIN, AND TO BE DEMO'ED.

LEGEND - CEILING PLAN

CLG - TO REMAIN

EXPOSED ROOF STRUCTURE TO REMAIN

Construction Documents

City of Roseburg

PSC 3rd Floor Improvements

0' 2" 4' 8'

1/4" = 1'-0"

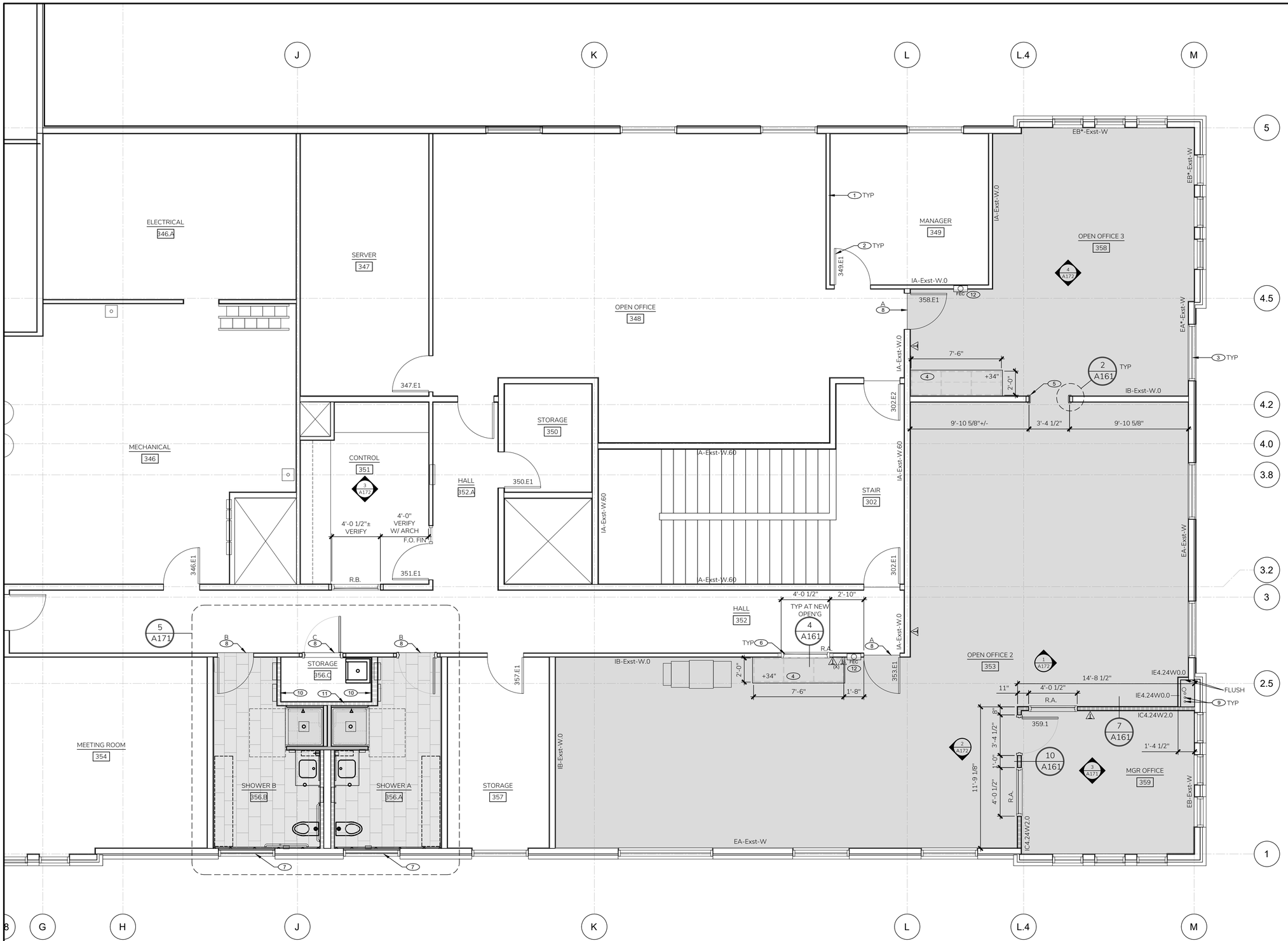
Demo Ceiling Plan
Third Floor - NE

1

PROJECT: 22022
CHECKED: CW
DATE: 10.03.2024 REVISIONS:

Demo Ceiling Plan
Third Floor - NE

D123.3



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STATE OF OREGON

GENERAL NOTES - FLOOR PLAN

a. SEE SHEET A160.1 FOR WALL ASSEMBLIES ASSEMBLIES.

b. SEE SHEET 2/A160.2 FOR FLOOR AND CEILING ASSEMBLIES, AND ADDITIONAL WALL FRAMING INFORMATION.

c. DIMENSIONS FROM FACE OF STUD UNLESS NOTED OTHERWISE.

d. DIMENSIONS AT OPENINGS TO ROUGH OPENING UNLESS NOTED OTHERWIS.

e. SEE SHEET G001 FOR WALL LEGEND AND ADDITIONAL INFORMATION.

KEYNOTES - FLOOR PLAN (#)

1. EXST WALL
2. EXST DOOR
3. EXST WINDOW
4. CASEWORK, SEE INTERIOR ELEVATIONS AND FINISH SCHEDULE.
5. WRAPPED OPENING AS DETAILED.
6. SEE 2/A161 FOR FRAMING AND WALL FINISH AT JAMB AT NEW OPENING IN THE EXISTING WALL.
7. REPLACE EXST INSULATED GLAZING UNIT WITH NEW SPANDREL-COATED INSULATED GLAZING UNIT. EXST FRAME TO REMAIN. FIELD VERIFY WINDOW SIZE, CONFIGURATION, AND OPERATION. SEE SHEET A180 FOR MORE INFORMATION.
8. FLOORING TRANSITION. SEE 1/170. LETTER IDENTIFIES TYPE.
9. EXST CONDUIT RACEWAY TO ROOF. PROTECTION FROM DAMAGE.
10. EXTEND THIS WALL TO ROOF STRUCTURE, SIMILAR TO 10/A161.
11. EXTEND THIS WALL TO ROOF STRUCTURE, SIMILAR TO 7/A161.
12. FEC. SEE SHEET G001.

FLOOR ASSEMBLY LEGEND

FLOOR ASSEMBLY A

FLOOR ASSEMBLY B

FLOOR ASSEMBLY - EXISTING. EXISTING FLOOR COVERING TO REMAIN.

Construction Documents

City of Roseburg

PSC 3rd Floor Improvements

0' 2" 4' 8'

1/4" = 1'-0"

Floor Plan
Third Floor - NE

1

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Floor Plan - Third Floor - NE

A113.3

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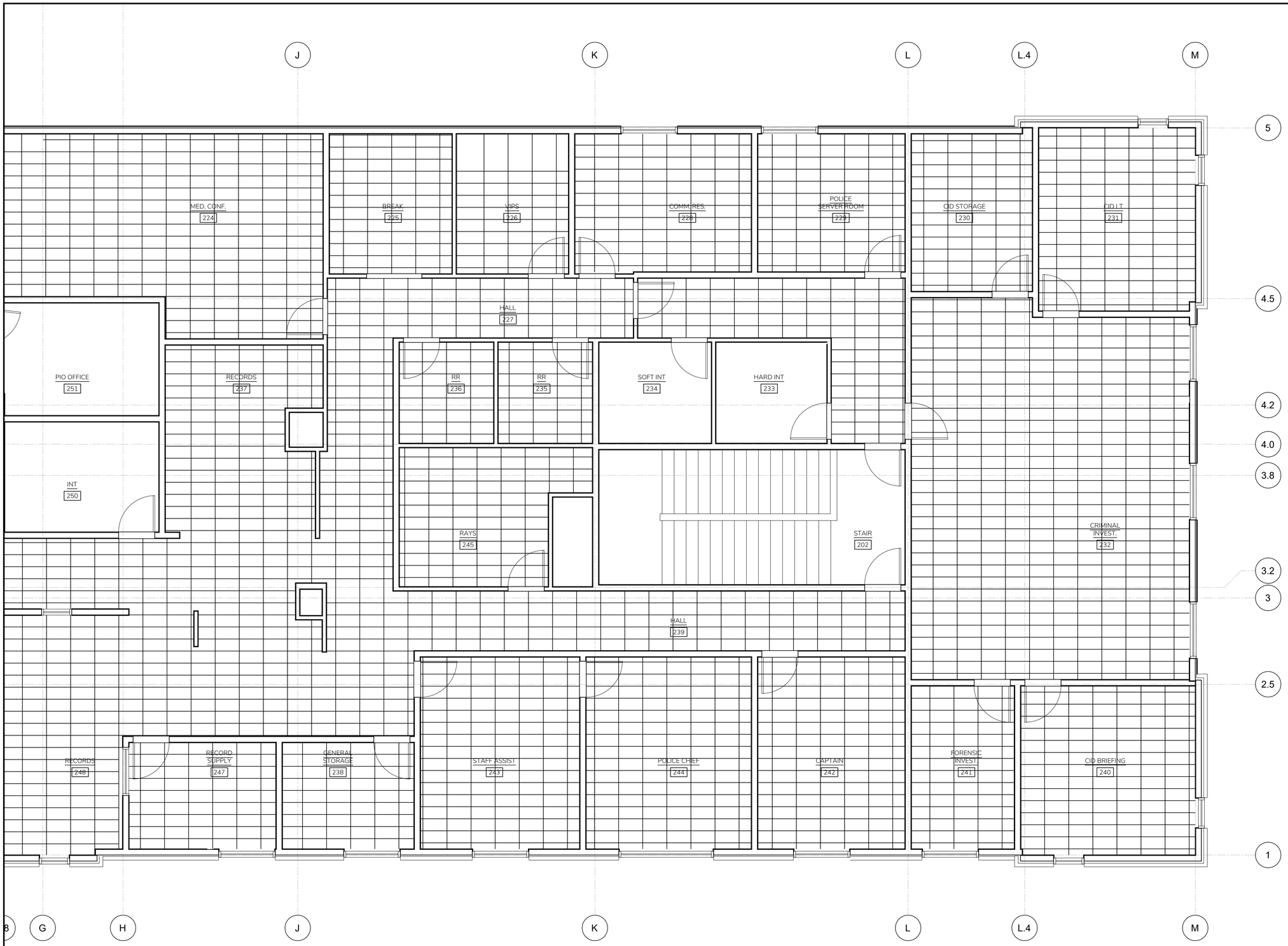


Construction Documents
City of Roseburg
PSC 3rd Floor Improvements

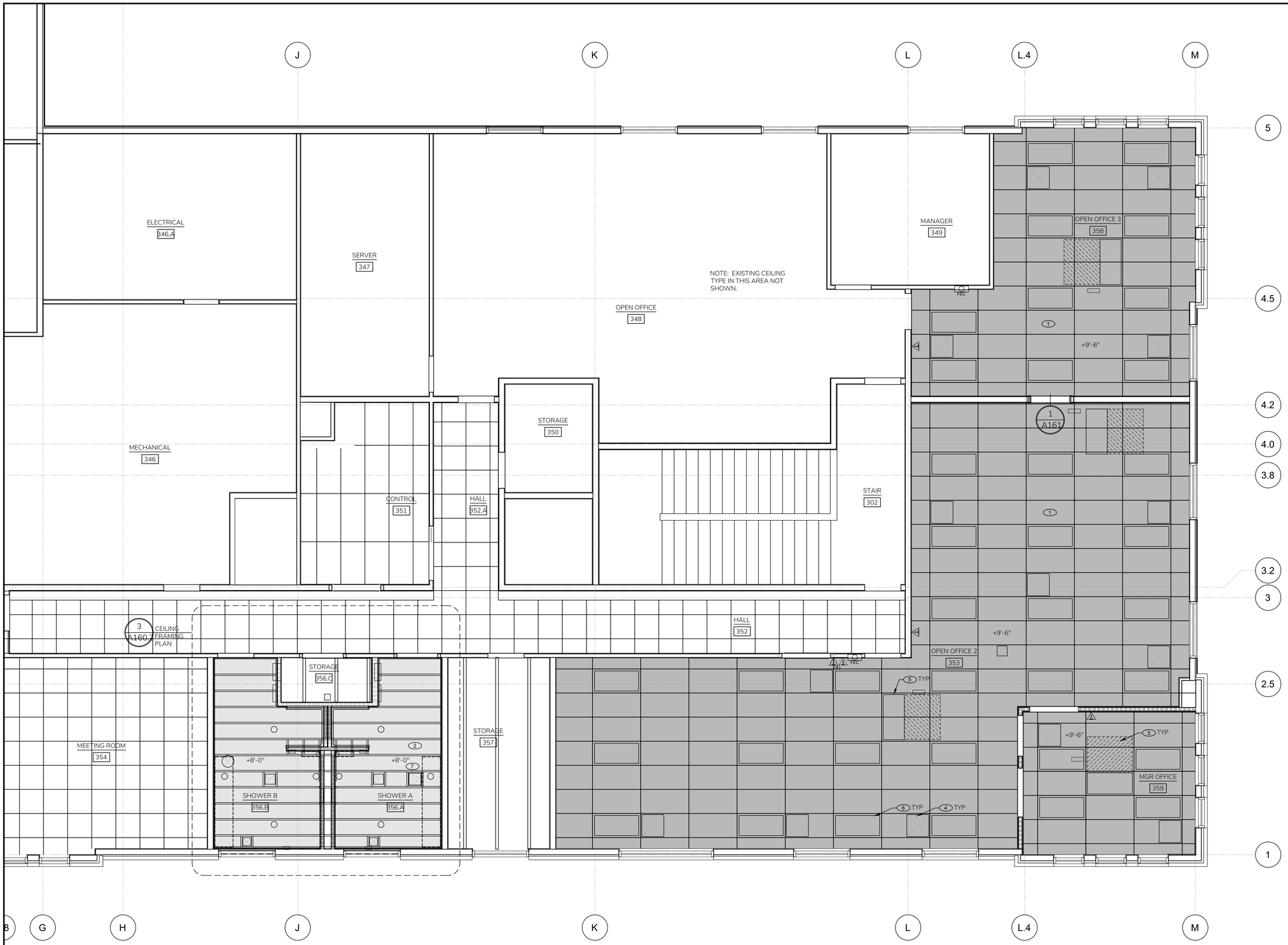
0' 2" 4' 8'
1/4" = 1'-0"

Ceiling Plan
Second Floor - NE
1

PROJECT: 22022
CHECKED: CW
DATE: 10.03.2024 REVISIONS:

Ceiling Plan - Second Floor - NE

A122.3



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GENERAL NOTES - CEILING PLAN

a. SEE SPECIFICATION SECTION 02 4100 - DEMOLITION FOR DEMOLITION-RELATED NOTES.

b. PROTECT EXISTING ELEMENTS NOT SCHEDULED NOR NECESSARY FOR REMOVAL TO ACCOMMODATE NEW WORK.

c. REPRESENTATION OF EXISTING CEILING AS SHOWN HERE IS DIAGRAMMATIC. VERIFY EXISTING CEILING LAYOUT AND REMOVE CEILING SYSTEM COMPONENTS AS NECESSARY TO ACCOMMODATE NEW WORK AND TO RETAIN THE INTEGRITY OF THE EXST CEILING GRID TO REMAIN. SALVAGE ALL COMPONENTS FOR REINSTALLATION.

d. SEE A121 FOR CEILING LEGEND.

e. SEE A122 FOR LIGHT FIXTURE TYPES.

KEYNOTES - CEILING PLAN (#)

1. CEILING TYPE C1.
2. CEILING TYPE C2.
3. ABOVE CEILING ACCESS AREA. DO NOT PROVIDE ELEMENTS, SUCH AS OCCUPANCY SENSORS, OR FIRE SPRINKLER HEADS IN CEILING TILES IN THIS AREA.
4. SUPPLY OR RETURN GRILLE, SEE MECHANICAL.
5. MECHANICAL UNIT ABOVE CEILING, SEE MECHANICAL.
6. LIGHT FIXTURE, SEE ELECTRICAL.
7. CEILING MOUNT ACCESS PANEL (12"x12"), VERIFY LOCATION WITH MECHANICAL.

LEGEND - CEILING PLAN

CEILING TYPE C1 - ACOUSTICAL CLG TILE - NEW SEE SHEET A160.2

CEILING TYPE C2 - FRAMED CEILNG - NEW SEE SHEET A160.2

CLG - TO REMAIN

MAINTENANCE ACCESS - NO PENETRATIONS IN CEILING TILE. TILE MUST BE REMOVABLE

Construction Documents

City of Roseburg

PSC 3rd Floor Improvements

0' 2" 4' 8'

1/4" = 1'-0"

Ceiling Plan
Third Floor - NE 1

PROJECT: 22022
CHECKED: CW
DATE: 10.03.2024 REVISIONS:

Ceiling Plan - Third Floor - NE

A123.3

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J K L L.4 M

5 4.5 4.2 4.0 3.8 3.2 3 2.5 1

FEC

ACU 1 ACU 2

REFRIGERANT PIPING ROOF PENETRATION 3

1 GV 1

2 EF 1

GENERAL NOTES - ROOF PLAN

a. ---

KEYNOTES - ROOF PLAN

1. GRAVITY VENTILATOR WITH BACKDRAFT DAMPER. SEE GRAVITY VENTILATOR DETAIL.
2. EXHAUST FAN WITH AUTO DAMPER. SEE EXHAUST FAN ROOF PENETRATION DETAIL.
3. REFRIGERANT PIPING UP THRU ROOF TO OUTDOOR UNITS ACU-1 AND ACU-2. SEE ROOF PENETRATION DETAIL.

B G H J K L L.4 M

0' 4' 8' 16'
1/8" = 1'-0"

Roof Plan
Upper Roof 1

Construction Documents
City of Roseburg
PSC 3rd Floor Improvements

PROJECT: 22022
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DATE: 10.03.2024 REVISIONS:

Roof Plan
A129.3

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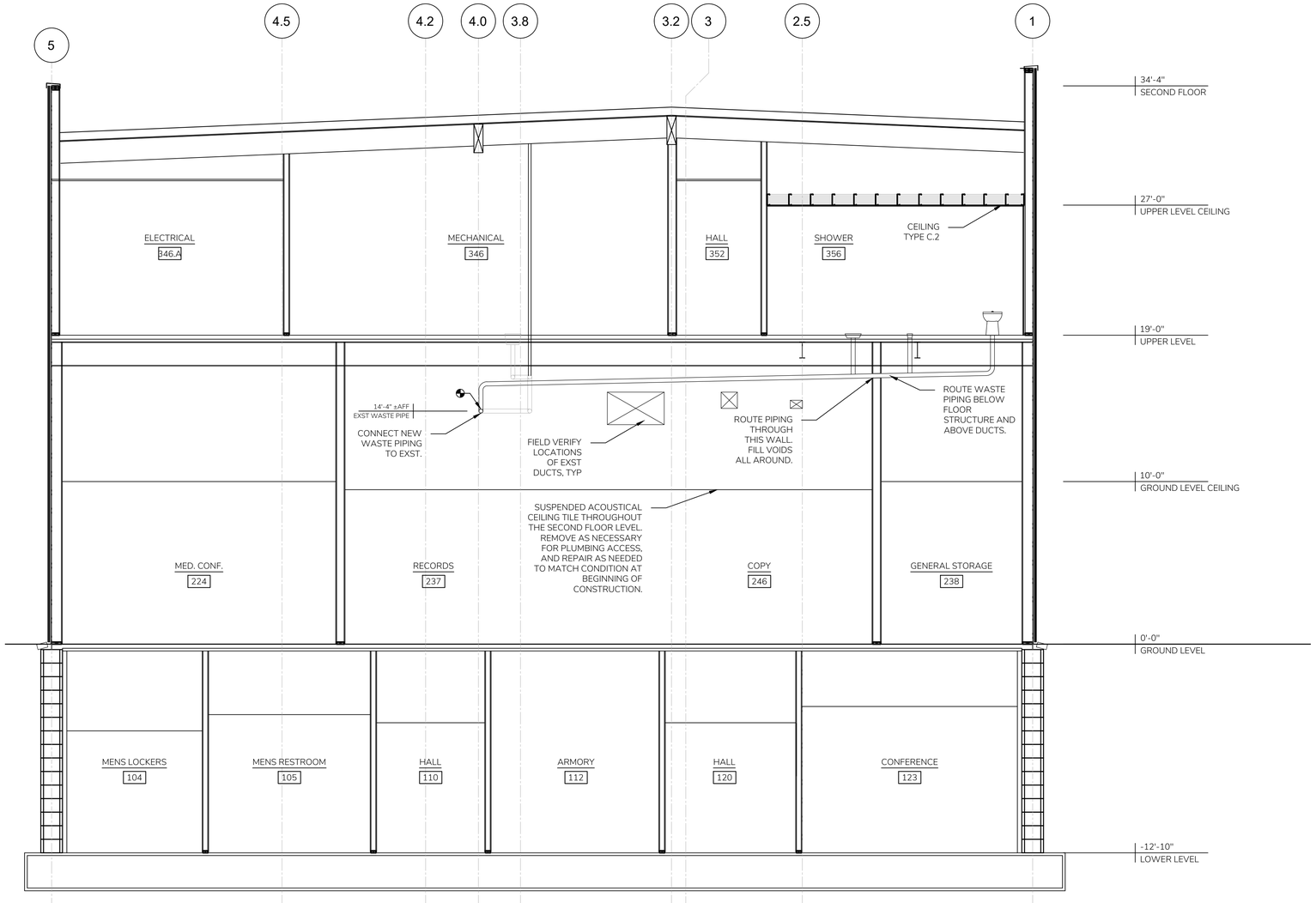

0' 2" 4' 8'
1/4" = 1'-0"

Section 1
--

GENERAL NOTES

a. ---

Construction Documents
City of Roseburg
PSC 3rd Floor Improvements

Sections

PROJECT: 22022
CHECKED: CW
DATE: 10.03.2024 REVISIONS:

A151

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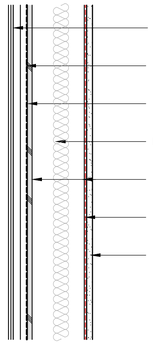
* EXISTING GYP BOARD FINISH TO REMAIN. FIELD VERIFY EXISTING CONDITIONS DURING BID PERIOD, AND PATCH AND REPAIR TO "LIKE NEW" CONDITION.



STUD SIZE & SPACING

#	STUD SIZE	SPACING
4.24	2x4	3 1/2" 24" O.C.

WALL CORE ELEMENT

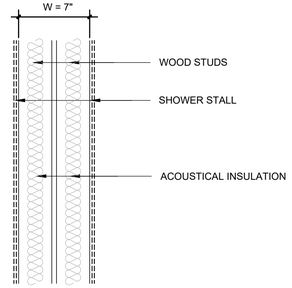
0 NONE
2 ACOUSTICAL INSULATION

FIRE RATING

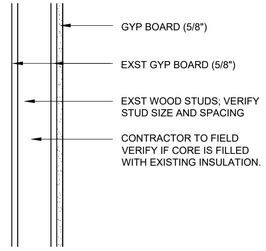
.0 NOT RATED

EA*-Exst-W

EXTERIOR WALL ASSEMBLY — EA-Exst-W — 10
1 1/2" = 1'-0" — WD STUD - STUCCO - NEW GYP BOARD



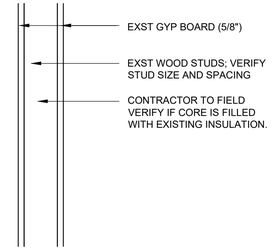
INTERIOR WALL ASSEMBLY — IG4.24W2.0 — 7
1 1/2" = 1'-0" — WD STUD - GYP BOARD ONE SIDE - SHOWER UNIT



FIRE RATING

.0 NOT RATED

INTERIOR WALL ASSEMBLY — ID-Exst-W.0 — 4
1 1/2" = 1'-0" — EXST WD STUD - NEW GYP BOARD OVER EXST

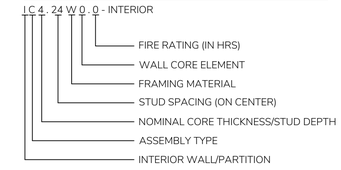


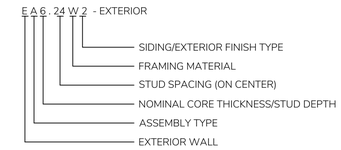
FIRE RATING

.0 NOT RATED

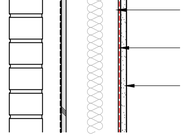
INTERIOR WALL ASSEMBLY — IA-Exst-W.0 — 1
1 1/2" = 1'-0" — EXST WD STUD - EXST GYP BOARD EACH SIDE

WALL ASSEMBLY LEGEND





* EXISTING GYP BOARD FINISH TO REMAIN. FIELD VERIFY EXISTING CONDITIONS DURING BID PERIOD, AND PATCH AND REPAIR TO "LIKE NEW" CONDITION.



STUD SIZE & SPACING

#	STUD SIZE	SPACING
4.24	2x4	3 1/2" 24" O.C.

WALL CORE ELEMENT

0 NONE
2 ACOUSTICAL INSULATION

FIRE RATING

.0 NOT RATED

EB*-Exst-W

EXTERIOR WALL ASSEMBLY — EB-Exst-W — 11
1 1/2" = 1'-0" — WD STUD - BRICK VENEER - NEW GYP BOARD

INTERIOR WALL ASSEMBLY — IH4.24W2.0 — 8
1 1/2" = 1'-0" — WD STUD - GYP BOARD ONE SIDE - SHOWER UNIT

STUD SIZE & SPACING

#	STUD SIZE	SPACING
4.24	2x4	3 1/2" 24" O.C.

WALL CORE ELEMENT

0 NONE

FIRE RATING

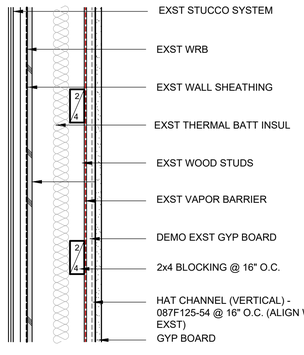
.0 NOT RATED

INTERIOR WALL ASSEMBLY — IE4.24W0.0 — 5
1 1/2" = 1'-0" — WD STUD - GYP BOARD ONE SIDE

FIRE RATING

.0 NOT RATED

INTERIOR WALL ASSEMBLY — IB-Exst-W.0 — 2
1 1/2" = 1'-0" — EXST WD STUD - EXST GYP BOARD ONE SIDE



EC-Exst-W

EXTERIOR WALL ASSEMBLY — EC-Exst-W — 12
1 1/2" = 1'-0" — WD STUD - STUCCO - NEW GYP BOARD

STUD SIZE & SPACING

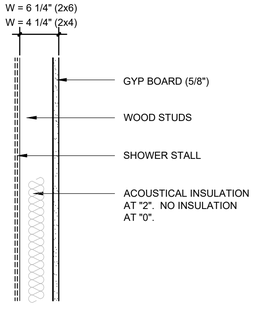
#	STUD SIZE	SPACING
4.24	2x4	3 1/2" 24" O.C.
6.24	2x4	5 1/2" 24" O.C.

WALL CORE ELEMENT

0 NONE
2 ACOUSTICAL INSULATION

FIRE RATING

.0 NOT RATED

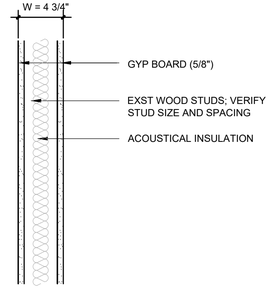


IF6.24W2.0
IF4.24W2.0

INTERIOR WALL ASSEMBLY — IF4.24W0.0 — 6
1 1/2" = 1'-0" — WD STUD - GYP BOARD ONE SIDE - SHOWER UNIT

FIRE RATING

.0 NOT RATED



INTERIOR WALL ASSEMBLY — IC4.24W2.0 — 3
1 1/2" = 1'-0" — WD STUD - EXST GYP BOARD ONE SIDE

Construction Documents
City of Roseburg
PSC 3rd Floor Improvements

Wall Assemblies

PROJECT: 22022
CHECKED: CW
DATE: 10.03.2024 REVISIONS:

A160.1

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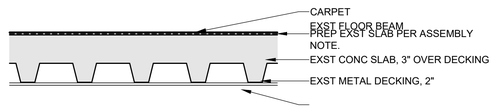
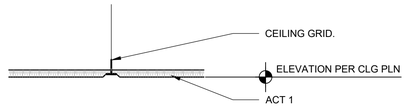
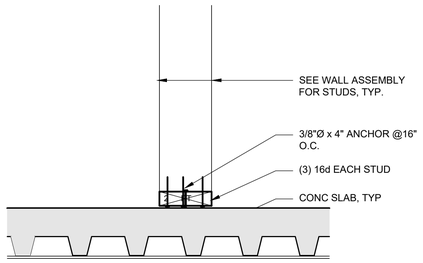
FLOOR PREP NOTE: PREP EXST SLAB AS NECESSARY TO PROVIDE SUBSTRATE PER FLOORING MANUFACTURER'S REWQUIREMENTS, INCLUDING FILL AND GRINDING. FIELD VERIFY.



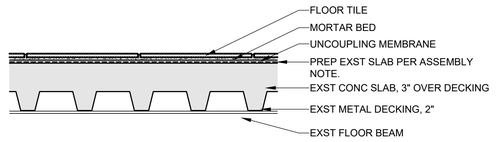
FLOOR ASSEMBLIES — **Floor Assembly A** — 4
1 1/2" = 1'-0" — Carpet over Exst Conc - Section



CEILING ASSEMBLIES — **Ceiling Type C.1** — 1
1 1/2" = 1'-0" — Acoustical Ceiling Tile System - Section

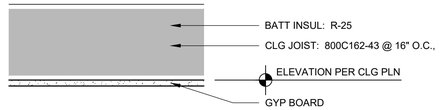


FLOOR ASSEMBLIES — **Wall Base Connection** — 8
1 1/2" = 1'-0" — Wood Studs - Section

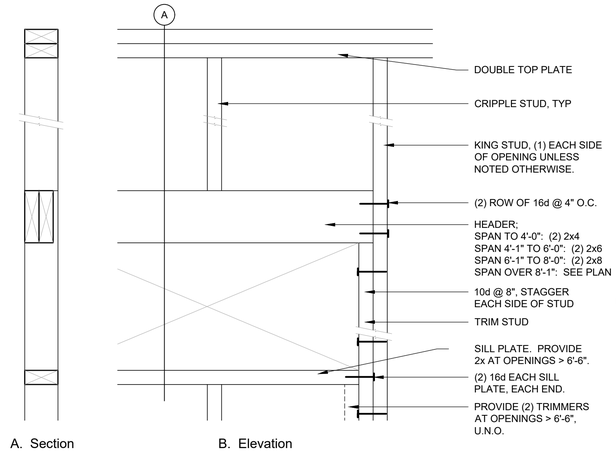


Type B - New Thin Set Tile

FLOOR ASSEMBLIES — **Floor Assembly B** — 5
1 1/2" = 1'-0" — Thin Set Tile over Exst Conc - Section

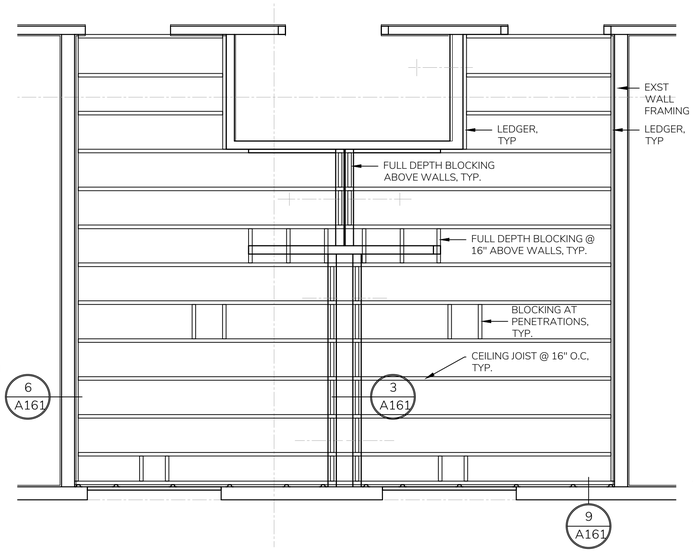


CEILING ASSEMBLIES — **Ceiling Type C.2** — 2
1 1/2" = 1'-0" — Framed Ceiling - Section



A. Section B. Elevation

Wd Stud Header-Jamb Connection — 6
1 1/2" = 1'-0" — Interior - Non-Bearing Walls - Elevation - Framing Only



Ceiling Framing Plan — 3
3/8" = 1'-0" — Plan

Construction Documents
City of Roseburg
PSC 3rd Floor Improvements

PROJECT: 22022
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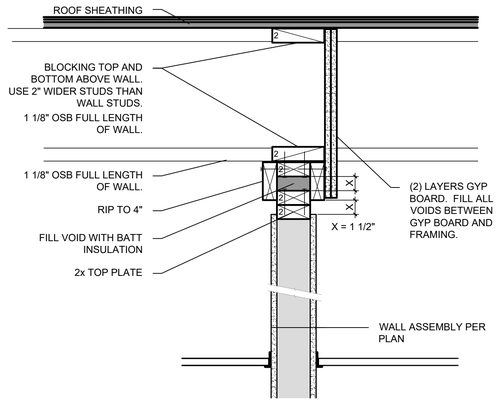
DATE: 10.03.2024 REVISIONS:

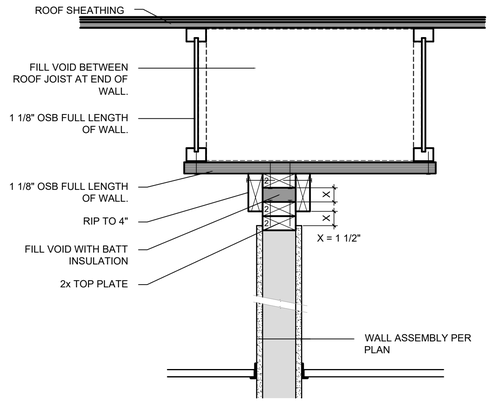
Floor and Ceiling Assemblies

A160.2



Top of Wall Details - Sound Control 10

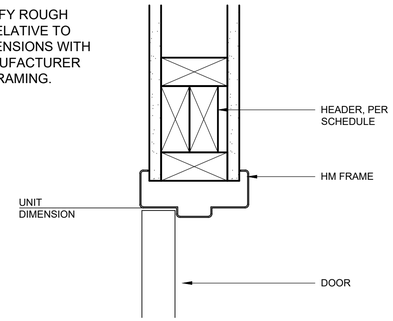
1 1/2" = 1'-0" Wall Perpendicular to Roof Framing - Section



Top of Wall Details - Sound Control 7

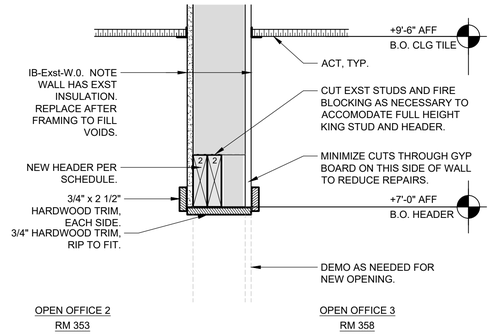
1 1/2" = 1'-0" Wall Parallel to Roof Framing - Section

NOTE: VERIFY ROUGH OPENING RELATIVE TO FRAME DIMENSIONS WITH FRAME MANUFACTURER PRIOR TO FRAMING.



Header - Framed Opening 4

3" = 1'-0" Section



Header - Cased Opening 1

1 1/2" = 1'-0" Section

NOTE: SEE 1/A161 FOR OTHER NOTES APPLICABLE HERE.

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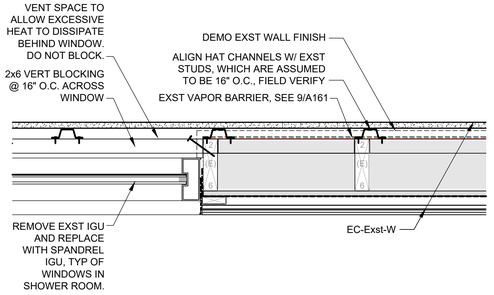
STATE OF OREGON

GENERAL NOTES

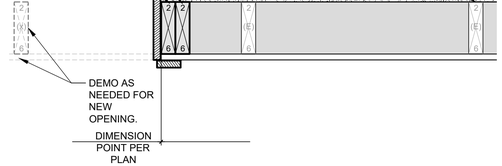
a. SEE SHEET A161 FOR ASSEMBLIES REFERENCED ON THIS SHEET.



New Wall at Exst Window 8

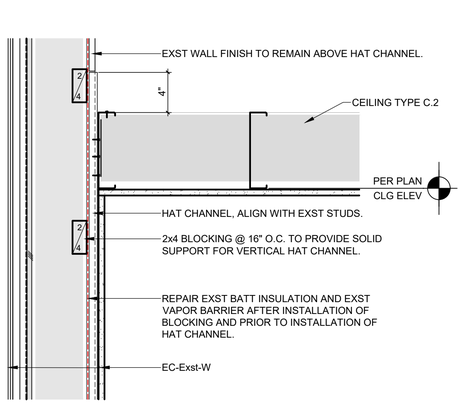
1 1/2" = 1'-0" Plan

Not Used 5



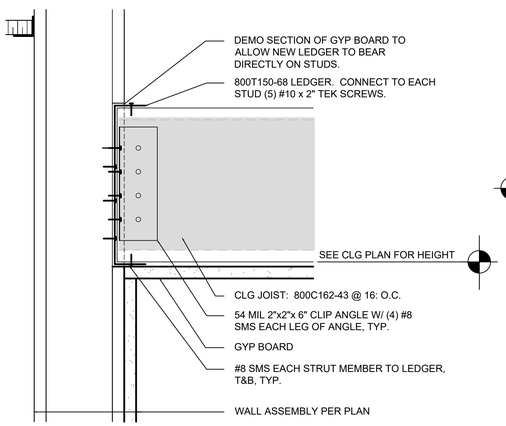
Jamb - Cased Opening 2

1 1/2" = 1'-0" Section



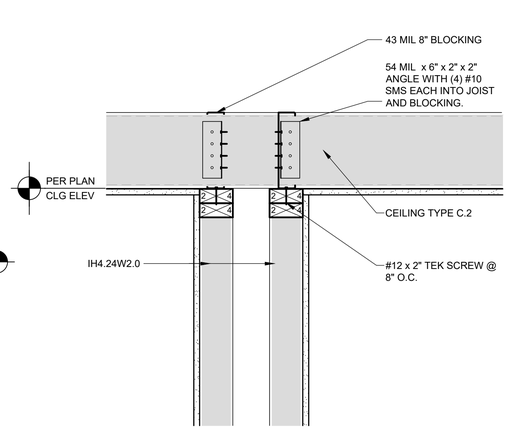
Ceiling Framing at Perimeter Wall 9

1 1/2" = 1'-0" Section



Ceiling Framing at Ledger 6

3" = 1'-0" Section



Ceiling Framing at Plumbing Wall 3

1 1/2" = 1'-0" Section

Construction Documents

City of Roseburg

PSC 3rd Floor Improvements

Details

PROJECT: 22022

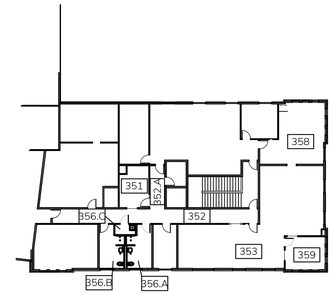
CHECKED: CW

DATE: 10.03.2024 REVISIONS:

A161

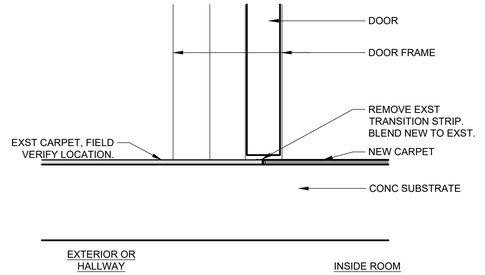
FINISH SCHEDULE

IDENTIFICATION		FLOOR		BASE		WALL								CEILING		CASEWK	NOTES	RM #
						NORTH		EAST		SOUTH		WEST						
RM #	LOCATION	MAT	FIN	MAT	FIN	MAT	FIN	MAT	FIN	MAT	FIN	MAT	FIN	MAT	FIN	TYPE		
302	STAIR	EXST		EXST		EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST			(4)	302
346	MECHANICAL	EXST		EXST		EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST			(5)	346
346.A	ELECTRICAL	EXST		EXST		EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST			(5)	346.A
347	SERVER	EXST		EXST		EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST			(5)	347
348	OPEN OFFICE	EXST		EXST		EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST			(4)	348
349	MANAGER	EXST		EXST		EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST			(4)	349
350	STORAGE	EXST		EXST		EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST			(4)	350
351	CONTROL	EXST CARPET	EXST	EXST RB	EXST	EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST ACT	EXST		(2) (3)	351
352	HALL	EXST CARPET	EXST	EXST RB	EXST	EXST GB	PAINT	EXST GB	PAINT	EXST GB	PAINT	EXST GB	PAINT	EXST ACT	EXST		(3)	352
352.A	HALL	EXST CARPET	EXST	EXST RB	EXST	EXST GB	PAINT	EXST GB	PAINT	EXST GB	PAINT	EXST GB	PAINT	EXST ACT	EXST			352.A
353	OPEN OFFICE 2	CAR TILE	FAC	RB	FAC	GB	PAINT	GB	PAINT	GB	PAINT	GB	PAINT	TILE	FAC	TYPE A		353
354	MEETING ROOM	EXST		EXST		EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST			(4)	354
356.A	SHOWER A	TILE	FAC	TILE	FAC	GB/ TILE	PAINT/ FAC	GB/ TILE	PAINT/ FAC	GB/ TILE	PAINT/ FAC	GB/ TILE	PAINT/ FAC	GB	PAINT	TYPE A	(1)	356.A
356.B	SHOWER B	TILE	FAC	TILE	FAC	GB/ TILE	PAINT/ FAC	GB/ TILE	PAINT/ FAC	GB/ TILE	PAINT/ FAC	GB/ TILE	PAINT/ FAC	GB	PAINT	TYPE A	(1) (3)	356.B
356.C	STORAGE	EXST CONC	EXST	RB	FAC	GB	PAINT	GB	PAINT	GB	PAINT	EXST GB	PAINT	OPEN TO STRUCT.	NA		(3) (6)	356.C
357	STORAGE	EXST		EXST		EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST GB	EXST	EXST			(5)	357
358	OPEN OFFICE 3	CAR TILE	FAC	RB	FAC	GB	PAINT	GB	PAINT	EXST GB	PAINT	GB	PAINT	TILE	FAC	TYPE A		358
359	MANAGER OFFICE	CAR TILE	FAC	RB	FAC	GB	PAINT	GB	PAINT	GB	PAINT	GB	PAINT	TILE	FAC			359



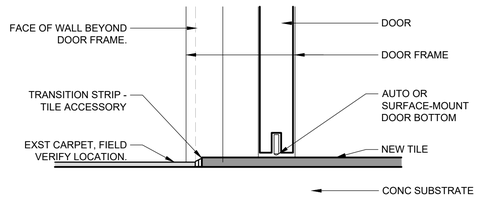
Key Plan

NTS



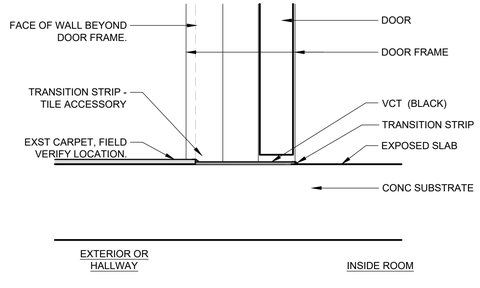
Transition Under Door 1A

3" = 1'-0" Floor Transition Diagrams - Section



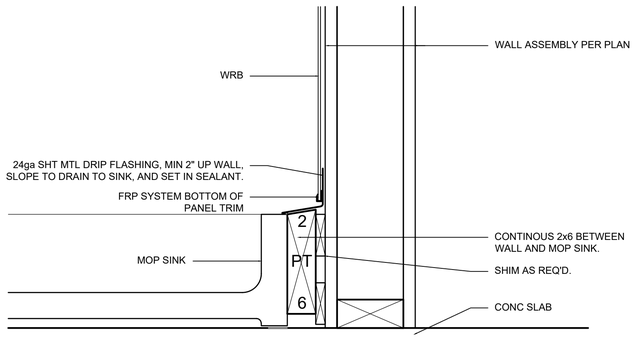
Transition at Hall Side 1B

3" = 1'-0" Floor Transition Diagrams - Section



Transition with Filler Strip 1C

3" = 1'-0" Floor Transition Diagrams - Section



Flashing at Bottom of FRP Panel to Mop Sink 2

3" = 1'-0" Section

GENERAL NOTES

a. KEYNOTE 2 ON THIS SHEET APPLIES TO ALL WORK ON THE SECOND FLOOR.

KEYNOTES - FINISH PLAN (#)

1. SEE INTERIOR ELEVATIONS FOR EXTENT OF WALL TILE AND GYP BOARD ON EACH WALL.
2. AT WALL(S) WITH REPAIRED GYP BOARD, BLEND INTO EXST WALL FINISH/TEXTURE.
3. MINIMIZE DISRUPTION TO EXST FINISH TO REMAIN AT HALLWAY SIDE OF OPENING FOR NEW DOOR OR RELITE.
4. NO WORK ANTICIPATED IN THIS ROOM.
5. THE ONLY WORK PLANNED FOR THIS ROOM IS PLUMBING, ELECTRICAL, AND/OR MECHANICAL. CLEAN UP WHEN COMPLETE, AND REPAIR ANY DAMAGE. IF ANY SEGMENT OF THE WALL REQUIRES PAINTING DUE TO WORK OF THIS CONTRACT, PAINT ENTIRE WALL.
6. SEE 1C/A170 FOR FLOOR TRANSITION AT DOOR OPENING.

CASEWORK TYPES

TYPE A

CABINET	P. LAM
COUNTER	P. LAM
UPPER	P. LAM (WHERE APPLICABLE)

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Construction Documents

City of Roseburg

PSC 3rd Floor Improvements

Finish Schedule

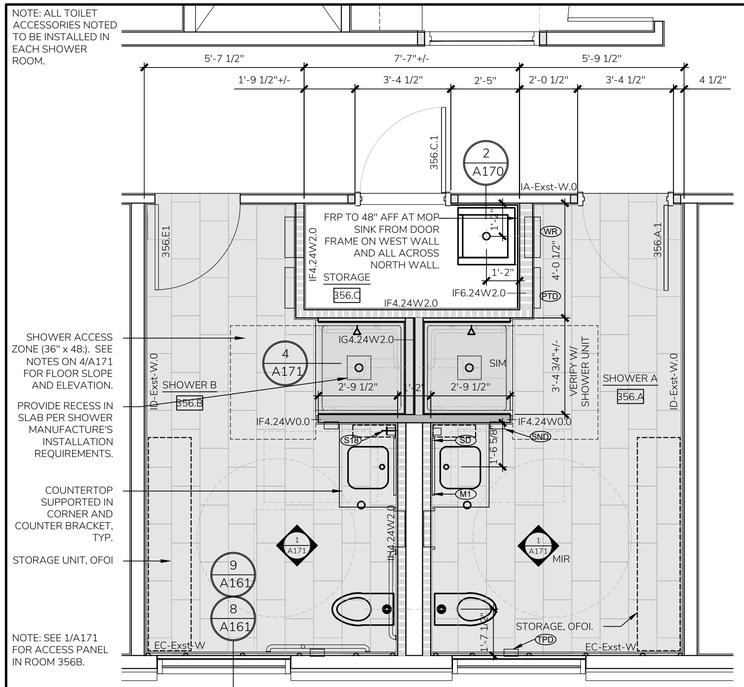
PROJECT: 22022

CHECKED: CW

DATE: 10.03.2024 REVISIONS:

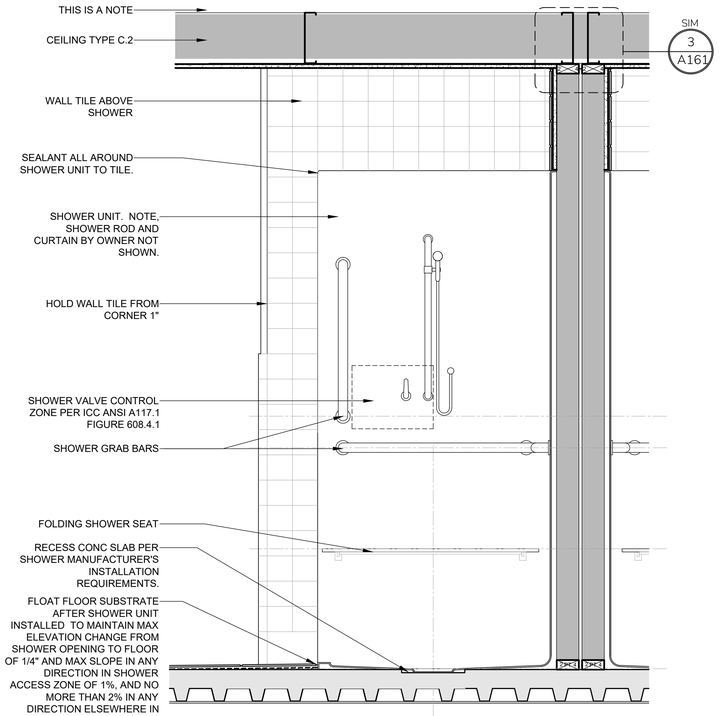
A170

NOTE: ALL TOILET ACCESSORIES NOTED TO BE INSTALLED IN EACH SHOWER ROOM.



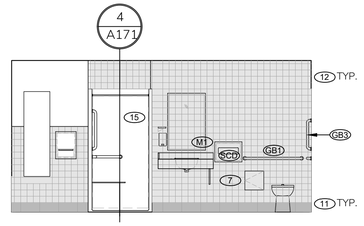
Shower Rooms 356 and 356.A 5

3/8" = 1'-0" Enlarged Plan



Section thru Shower 4

1" = 1'-0"



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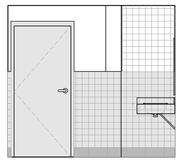
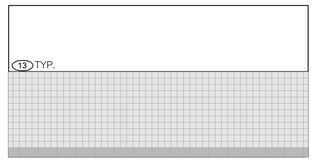


West



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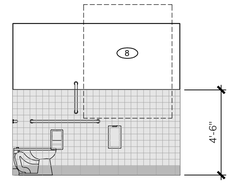
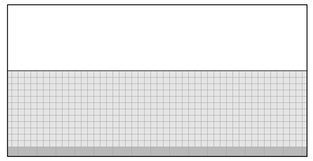


East

Shower Room 356.B 1

1/4" = 1'-0" Interior Elevation

NOTE: SEE 1/A171 FOR NOTES APPLICABLE TO THIS ROOM.



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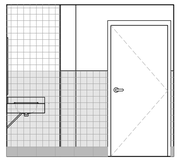

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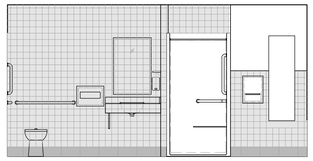

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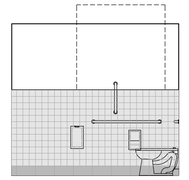
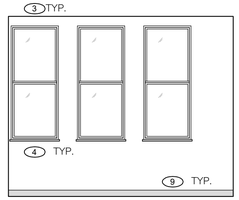


East

Shower Room 356.A 2

1/4" = 1'-0" Interior Elevation



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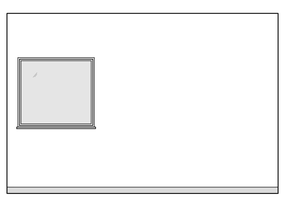

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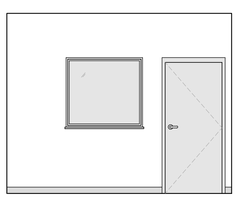

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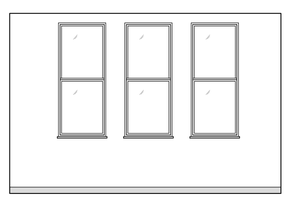

East

Manager Office 359 3

1/4" = 1'-0" Interior Elevation

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GENERAL NOTES

a. EXTERIOR WINDOWS SHOWN ARE EXISTING. PROTECT FROM DAMAGE.

KEYNOTES

1. CASED OPENING
2. EXST WINDOW SILL. 1" THICK APPLYPLY. FIELD VERIFY.
3. WRAP JAMB AND HEAD OF WINDOW OPENING WITH GYP BOARD.
4. NEW WINDOW SILL. MATCH MATERIAL AND PROFILE OF EXST.
5. BASE CABINET WITH COUNTER
6. UPPER CABINET UNIT
7. ACCESS PANEL, 12" x 12"
8. EXISTING WINDOW UNIT TO BE CONCEALED. SEE FLOOR PLAN FOR IGU REPLACEMENT.
9. RUBBER BASE. REMOVE EXST RUBBER BASE TO ACCOMMODATE EXST.
10. EXST RUBBER BASE
11. BASE TILE
12. WALL TILE
13. WALL TILE TRANSITION STRIP
14. FIRE EXTINGUISHER CABINETS
15. SHOWER UNIT. NOTE, SHOWER ROD AND CURTAIN BY OWNER NOT SHOWN.
16. CABINET LOCK, TYP

TOILET ACCESSORY SCHEDULE

GB1	GRAB BAR 1 (36")
GB2	GRAB BAR 2 (42")
GB3	GRAB BAR 3 (18")
M1	MIRROR 1
PTD	PAPER TOWEL DISPENSER - *OFOI*
S18	SHELF (18")
SCD	SEAT COVER DISPENSER
SD	SOAP DISSPENER - *OFOI*
SND	SANITARY NAPKIN DISPOSAL
TPD	TOILET PAPER DISPENSER
WD	WASTE RECEPTACLE

Construction Documents

City of Roseburg

PSC 3rd Floor Improvements

Interior Elevations

PROJECT: 22022

CHECKED: CW

DATE: 10.03.2024 REVISIONS:

A171

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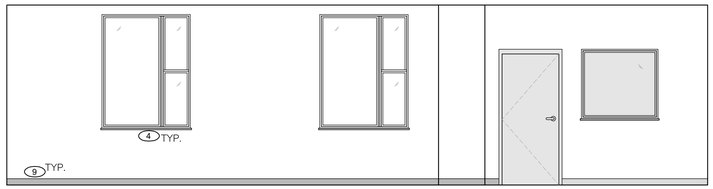

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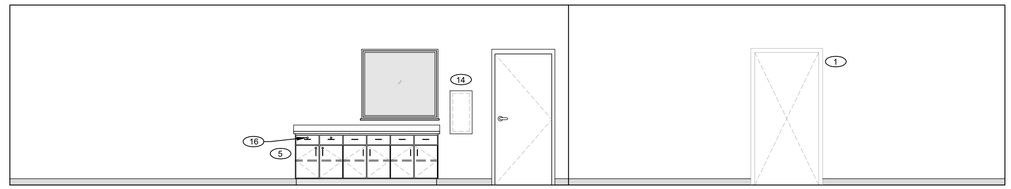
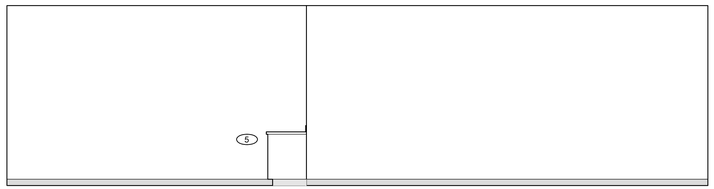


West

Open Office 2 353
1/4" = 1'-0" Interior Elevation **1**



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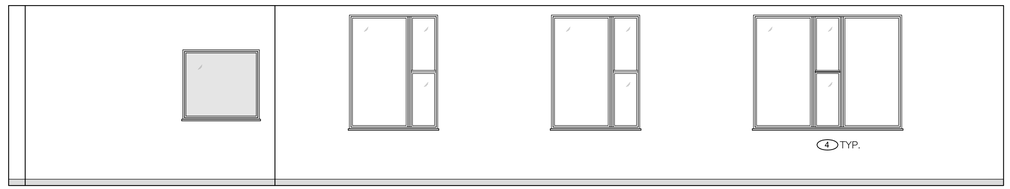
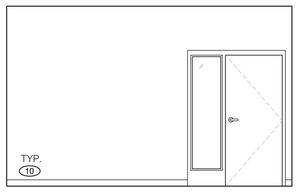


East

Open Office 2 353
1/4" = 1'-0" Interior Elevation **2**



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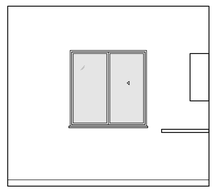

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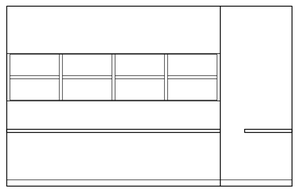
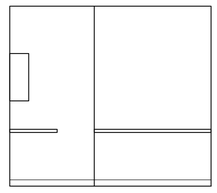
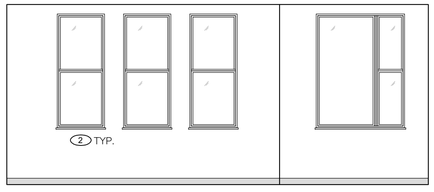


South



East

Control 351
1/4" = 1'-0" Interior Elevation **3**



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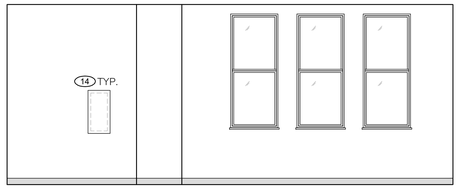
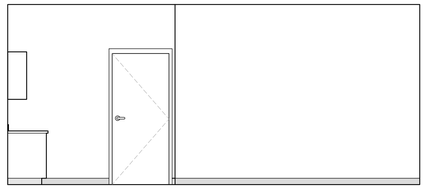


West



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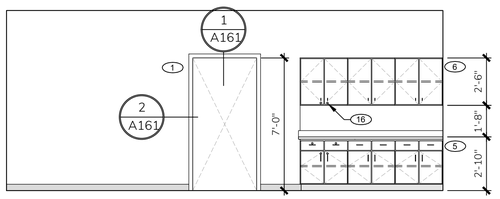

East

Open Office 3 358
1/4" = 1'-0" Interior Elevation **4**

GENERAL NOTES

a. SEE SHEET A171 FOR GENERAL NOTES AND KEYNOTES APPLICABLE HERE.

Construction Documents
City of Roseburg
PSC 3rd Floor Improvements

Interior Elevations

PROJECT: 22022
CHECKED: CW
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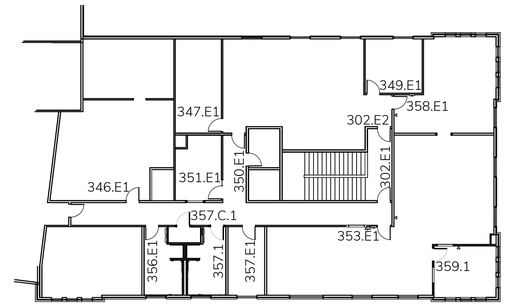
DOOR SCHEDULE

IDENTIFICATION			STATUS	PERFORMANCE					CHARACTERISTICS								HARDWARE GROUP	NOTES	MARK
MARK	LOCATION			FIRE RATING (minute)		SMOKE	SOUND	THERMAL	NOM. DIMENSIONS		DOOR			FRAME					
	RM #	ROOM NAME		DOOR	FRAME				WIDTH	HEIGHT	TYPE	MATER.	FIN.	TYPE	MATER.	FIN.			
302.E1	302	STAIR	EXISTING	1 HR	1 HR	NA	NA	NA	3'-0"	7'-0"	B	WD	FAC	1	HM	PAINT	GROUP 5	--	302.E1
351.E1	351	CONTROL	EXISTING	--	--	--	--	--	3'-0"	7'-0"	A	WD	FAC	1	HM	PAINT	--	--	351.E1
353.E1	353	OPEN OFFICE 2	EXISTING	--	--	--	--	--	3'-0"	7'-0"	A	WD	FAC	1	HM	PAINT	GROUP 4	--	353.E1
356.E1	356.B	SHOWER B	EXISTING	--	--	--	--	--	--	--	A	--	--	1	HM	PAINT	--	--	356.E1
356.1	356.A	SHOWER A	NEW	--	--	--	YES	--	--	--	A	--	--	1	HM	PAINT	GROUP 2	--	356.1
356.C.1	356.C	STORAGE	NEW	--	--	--	NA	--	--	--	A	--	--	1	HM	PAINT	GROUP 3	--	356.2
357.E1	357	STORAGE	EXISTING	--	--	--	--	--	3'-0"	7'-0"	A	WD	FAC	1	HM	--	--	--	357.E1
358.E1	358	OPEN OFFICE 3	EXISTING	--	--	--	--	--	--	--	A	--	--	1	HM	PAINT	--	--	358.E1
359.1	359	MANAGER OFFICE	NEW	--	--	--	YES	--	--	--	A	--	--	1	HM	PAINT	GROUP 1	--	359.1
--	--	--	--	--	--	--	--	--	--	--	--	--	--		HM	--	--	--	--



Key Plan

NTS

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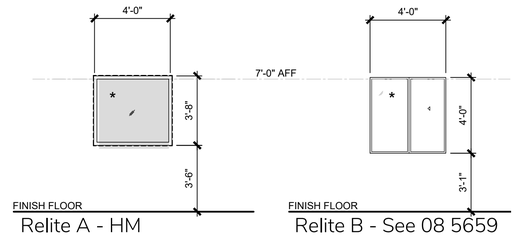
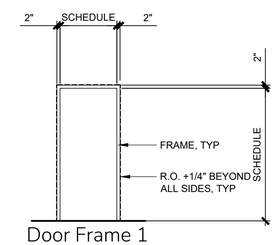
CURTIS N. WILSON
EUGENE, OREGON
3543
STATE OF OREGON

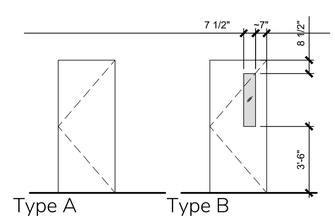
GENERAL NOTES

a. --.





Door Frame 1



Frame, Door, and Relite Type

1/4" = 1'-0"

1

Construction Documents
City of Roseburg
PSC 3rd Floor Improvements

PROJECT: 22022
CHECKED: CW
DATE: 10.03.2024 REVISIONS:

Door Schedule

A180

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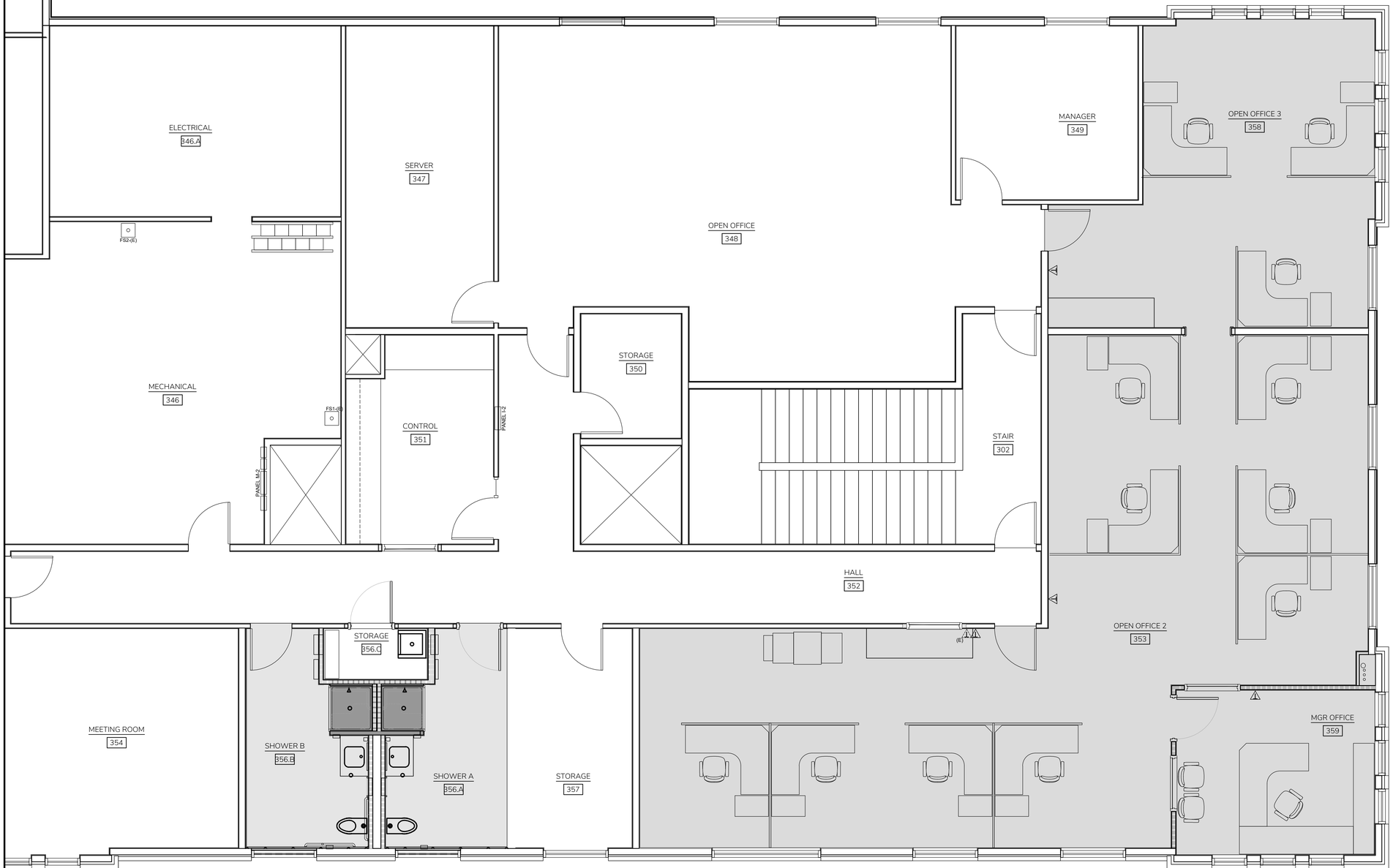
Furniture Plan for reference only.



Construction Documents

City of Roseburg

PSC 3rd Floor Improvements

0' 2" 4' 8'

1/4" = 1'-0"

Floor Plan
Third Floor - NE

1

PROJECT: 22022 Furniture Plan -Third Floor - NE

CHECKED: CW

DATE: 10.03.2024 REVISIONS:

A193.3

PLUMBING LEGEND

PIPING

SYMBOL	ABBREV.	DESCRIPTION
PLUMBING PIPING:		
	CW	POTABLE COLD WATER
	HW	POTABLE HOT WATER
	HWR	POTABLE HOT WATER RETURN
	V	SANITARY PLUMBING VENT
	W	SANITARY WASTE
		PIPING UP
		PIPING DOWN
		CAPPED PIPE
		DIRECTION OF FLOW
	BV	BALL VALVE
		VENTURI
	COTG, FCO	CLEANOUT TO GRADE, FLOOR CLEANOUT
	FD	FLOOR DRAIN
	HB	HOSE BIBB (PLAN)

GENERAL

SYMBOL	ABBREVIATION	DESCRIPTION
ø	DIA	DIAMETER
		NEW TO EXISTING POINT OF CONNECTION
AHU-12	TYPE - NUMBER	EQUIPMENT MARKER
Room Name 101	ROOM NAME ROOM NUMBER	ROOM MARKER
1C		LAB SINK SERVICE FITTING TAG
		EXISTING SHOWN LIGHT
		NEW WORK SHOWN BOLD
		EXISTING TO BE REMOVED
		FIRE SPRINKLER ZONE BOUNDARY

ABBREVIATIONS

ADA	AMERICANS WITH DISABILITY ACT
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AHJ	AUTHORITY HAVING JURISDICTION
ANSI	AMERICAN NATIIONAL STANDARDS INSTITUTE
ARCH	ARCHITECT/ARCHITECTURAL
ASHRAE	AMERICAN SOCIETY OF HEATING, REFRIGERATING, & AIR-CONDITIONING
ASME	AMERICAN SOCIETY OF MECHANICAL ENGINEERS
ASPE	AMERICAN SOCIETY OF PLUMBING ENGINEERS
ASSE	AMERICAN SOCIETY OF SANITARY ENGINEERING
AWWA	AMERICAN WATER WORKS ASSOCIATION
BFF	BELOW FINISHED FLOOR
BLDG	BUILDING
BOP	BOTTOM OF PIPE
CFCI	CONTRACTOR FURNISHED/ CONTRACTOR INSTALLED
CFH	CUBIC FEET PER HOUR
CFM	CUBIC FEET PER MINUTE
CFOI	CONTRACTOR FURNISHED/ OWNER INSTALLED
CI	CAST IRON
CLG	CEILING
CO	CLEANOUT
CONC	CONCRETE
CONT	CONTINUATION
COTG	CLEANOUT TO GRADE
DFU	DRAINAGE FIXTURE UNIT
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
(E)	EXISTING
FD	FLOOR DRAIN
FFE	FINISHED FLOOR ELEVATION
FS	FLOOR SINK
FT	FEET
FU	FIXTURE UNIT
GAL	GALLON
GALV	GALVANIZED
GPF	GALLONS PER FLUSH
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
HDPE	HIGH-DENSITY POLYETHYLENE
HOA	HAND-OFF-AUTOMATIC
IAPMO	INTERNATIONAL ASSOCIATION OF PLUMBING, MECHANICAL OFFICIALS
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
IN	INCH, INCHES
KW	KILOWATT
KWH	KILOWATT-HOUR
LBS	POUNDS
LAV	LAVATORY
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MOP	MAXIMUM OVERCURRENT PROTECTION
(N)	NEW
NA	NOT APPLICABLE
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
NPT	NATIONAL PIPE THREAD
NTS	NOT TO SCALE
OD	OUTSIDE DIAMETER
OPSC	OREGON PLUMBING SPECIALTY CODE
OSHA	OCCUPATION SAFETY AND HEALTH ADMINISTRATION
PD	PRESSURE DROP
PDI	PLUMBING & DRAINAGE INSTITUTE
PE	POLYETHELENE
PEX	CROSS-LINKED POLYETHELENE
PLBG	PLUMBING
POC	POINT OF CONNECTION
PH	PHASE
REQ'D	REQUIRED
SCH	SCHEDULE
SQFT	SQUARE FEET
TP	TRAP PRIMER
TPA	TRAP PRIMER ARRAY
TYP	TYPICAL
UG	UNDERGROUND
UON	UNLESS OTHERWISE NOTED
UPC	UNIFORM PLUMBING CODE
VTR	VENT THROUGH ROOF
WC	WATER CLOSET
WH	WALL HYDRANT
WHA	WATER HAMMER ARRESTOR
WSFU	WATER SUPPLY FIXTURE UNITS

GENERAL NOTES

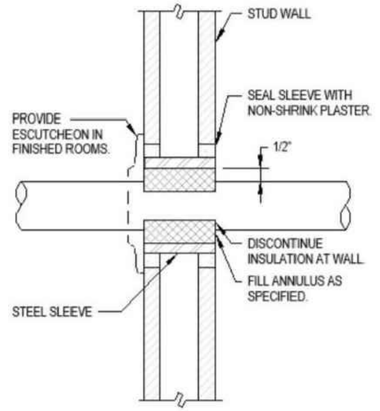
1. THE FACILITY WILL REMAIN IN OPERATION DURING CONSTRUCTION. COORDINATE ALL SHUTDOWNS AND CONSTRUCTION ACTIVITY WITH FACILITIES STAFF.
2. SIZE AND LOCATION OF ALL PIPING AND OTHER MECHANICAL EQUIPMENT IS APPROXIMATE. CONTRACTOR SHALL SITE VERIFY THE LOCATION OF EXISTING PIPING AND EQUIPMENT AND CONSTRUCT WORK FROM FIELD DIMENSIONS. CONTRACTOR SHALL MAKE ADJUSTMENTS NECESSARY TO ACCOMMODATE MINOR DEVIATIONS AT NO COST TO OWNER.
3. FINE (LIGHT) LINE WORK INDICATES EXISTING PIPING AND OTHER MECHANICAL EQUIPMENT. BOLD (HEAVY) LINE WORK INDICATES NEW PIPING AND OTHER MECHANICAL EQUIPMENT.
4. IT IS RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE CUTTING AND PATCHING TO ALLOW THE INSTALLATION OF MATERIALS AND EQUIPMENT AS SPECIFIED AND SHOWN ON DRAWINGS.
5. WHERE (E) FIRE PROTECTIVE TREATMENT ON STRUCTURAL MEMBERS IS DAMAGED OR REMOVED AS A RESULT OF WORK, REPAIR TREATMENT TO MATCH (E).

DEMOLITION NOTES

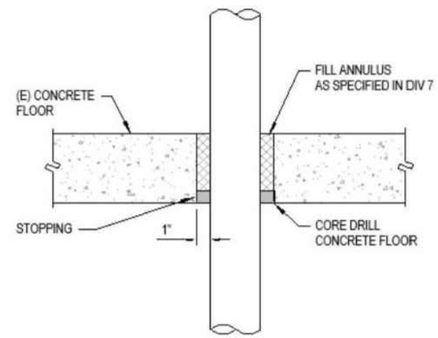
1. REVIEW DEMOLITION DRAWINGS FOR ITEMS TO REMAIN, TO BE RETAINED FOR RELOCATION, OR TO BE SALVAGED TO THE OWNER. REFER TO ARCHITECTURAL DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
2. DEMOLISH EQUIPMENT, FIXTURES, DEVICES, PIPING, CONDUIT, FITTINGS, AND APPURTENANCES INTERIOR TO THE BUILDING THAT ARE MADE OBSOLETE BY THE NEW WORK AND/OR ARE ABANDONED AND NO LONGER IN USE.
3. PROTECT AND MAINTAIN OPERABLE EXISTING EQUIPMENT, FIXTURES, OR SYSTEMS THAT ARE INDICATED TO REMAIN, INCLUDING ELECTRICAL POWER, CONTROLS, AND RELATED SYSTEMS REQUIRED TO MAINTAIN OPERABILITY.
4. EXISTING CONDITIONS SHOWN ARE BASED ON RECORD DOCUMENTS AND LIMITED FIELD OBSERVATIONS OF ACCESSIBLE AREAS AND MAY NOT SHOW THE ENTIRE SCOPE OF DEMOLITION WORK. OMISSION OF EXISTING EQUIPMENT, FIXTURES, DEVICES, PIPING, CONDUIT, FITTINGS, AND APPURTENANCES FROM THE DEMOLITION DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE DEMOLITION OF SYSTEMS THAT ARE MADE OBSOLETE BY THE NEW WORK, ARE ABANDONED, OR AS OTHERWISE REQUIRED TO PERFORM THE WORK DESCRIBED HEREIN.
5. PROTECT AND MAINTAIN SERVICES TO REMAIN OPERATIONAL THAT PASS THROUGH THE AREA OF CONSTRUCTION. WHERE IT IS NOT POSSIBLE TO MAINTAIN THESE SERVICES INTACT, REPLACE, REROUTE, MODIFY, OR PROVIDE NEW AS REQUIRED TO MAINTAIN SERVICES.

PLUMBING FIXTURES

TAG	MANUFACTURER	MODEL	TYPE	MOUNTING	DESCRIPTION	FLOW (GPM/GPF)	CONNECTIONS (IN) W	V	IW	GW	HW	TW	NOTES
HB-1	WOODFORD	B79	HOSE BIB	IN WALL	BACKFLOW PROTECTED, CONCEALED, LOCKABLE WTH LOOSE KEY	-	-	-	-	3/4"	-	-	
FD-1	JR SMITH	2005Y	FLOOR DRAIN	IN FLOOR	FLOOR DRAIN WITH HEELPROOF GRATE	-	3"	-	-	-	-	-	
L-1	SLOAN	SS-302	LAVATORY	DROP IN	17"X20"X8" WHITE VITREOUS CHINA, 3 HOLE	0.5	2	1-1/2"	-	1/2"	1/2"	-	ADA COMPLIANT
	DELTA	516LF-HGMHDF	FAUCET	DECK MOUNTED	SINGLE HANDLE HGM								
MS-1	MUSTEE	63M	MOP SINK	FLOOR	10"X24"X24" UPC 671031001894	6	3"	1-1/2"	-	1/2"	1/2"	-	
	MUSTEE	63.600A	SERVICE FAUCET	WALL	CHROME PLATED HEAVY DUTY 8" ON CENTER								
SH-1	FIBER FAB	40H1KD, BFKD	TRANSFER MODULAR SHOWER	-	PREFAB SHOWER STALL 36X36 CLEAR FLOOR SPACE	1.75	3"	1-1/2"	-	1/2"	1/2"	-	ADA COMPLIANT
	KOHLER	AWAKEN G110	SHOWEHEAD	WALL MOUNTED	36" 3-FUNCTION HANDSHOWER KIT								
WC-1	SLOAN	ST-2022-1.6/1.1	WATER CLOSET	FLOOR	FLOOR MOUNT SIPHON JET WHITE VITREOUS CHINA	1.6/1.1	3"	2"	-	1-1/4"	-	-	ADA COMPLIANT
	ZURN	AQUAVANTAGE AV	FLUSHOMETER	TOP SPUD	Z6000AV-TP-WS1 EXPOSED WITH TRAP PRIMER								
	BEMIS	1955CT	TOILET SEAT	ON TOILET	WHITE ELONGATED TOILET SEAT								



1 **WALL PENETRATION - INTERIOR**
NOT TO SCALE



2 **WALL PENETRATION - FLOOR PIPING**
NOT TO SCALE

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REGISTERED PROFESSIONAL ENGINEER # 84,267 DIGITALLY SIGNED OREGON STEVEN GLEN SCHUAL NOV. 09, 2010 EXPIRES: 06-30-25

SYSTEMS WEST ENGINEERS

BUILDING SYSTEMS BASIS OF DESIGN

DOMESTIC WATER PIPING SYSTEM:
BASIS OF DESIGN: 2023 OREGON PLUMBING SPECIALTY CODE, APPENDIX A 'RECOMMENDED RULES FOR SIZING THE WATER SUPPLY SYSTEM' PIPING SIZED ON 3 PSI/100 FT PRESSURE DROP, VELOCITIES NOT TO EXCEED 8 FT/S FOR COLD WATER, 5 FT/S FOR HOT WATER RETURN. WATER PIPING SIZING ASSUMES TYPE L COPPER AS BASIS OF DESIGN.

SANITARY WASTE AND VENT PIPING SYSTEM:
BASIS OF DESIGN: 2023 OREGON PLUMBING SPECIALTY CODE, CHAPTER 7 - 'SANITARY DRAINAGE' AND CHAPTER 9 - 'VENTS' ALL WASTE PIPING SLOPED AT 1/4-INCH/FT UNLESS OTHERWISE NOTED. ALL VENT PIPING INSTALLED HORIZONTAL OR SLOPED UPWARDS AT 1/8-INCH/FT UNLESS OTHERWISE NOTED.

Construction Documents
City of Roseburg
PSC 3rd Floor Improvements

Plumbing Schedule And Legend

PROJECT: 22022
CHECKED: CW
DATE: 10.03.2024 REVISIONS:

P100

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REGISTERED PROFESSIONAL ENGINEER # 84,267 DIGITALLY SIGNED OREGON NOV. 09, 2018 STEVEN GLEN SCHUAL EXPIRES: 06-30-20

SYSTEMS WEST ENGINEERS

4.5
4.2
4.0
3.8
3.2
3
2.5
1

F.8 G H J K

MED. CONF. 224
FS2-(E)
PIO OFFICE 251
RECORDS 237
FS2-(E)
INT 250
(E) 3"-W
FS1-(E)
NOTE, SEE SHEET A151 FOR SECTION THROUGH THIS AREA.
HALL 227
VIDC 226
COMM. RES. 228
RR 236
RR 235
SOFT INT 234
HARD INT 233
RAYS 245
STAIR 202
EXST FLOOR BEAMS, FIELD VERIFY LOCATION AND SIZES, TYP
HALL 239
3" W (UP TO MS-1)
(2) 1-1/2" V (UP)
2" W (UP TO SH-1)
1-1/2" V (UP)
2" W (UP TO SH-1)
OUTLINE OF NEW SHOWER ROOMS ABOVE FOR REFERENCE.
NOTE, THIS EXST WALL EXTENDS TO STRUCTURE. PROVIDE OPENING IN WALL FOR NEW WASTE PIPE.
3"-W
2" W (UP TO LAV-S)
3" W (UP TO FD-1)
3"-W
1-1/2" V (UP)
3" END OF LINE CO
3" W (UP TO WC-1)
RECORDS 248
RECORD SUPPLY 247
GENERAL STORAGE 238
STAFF ASSIST 243
POLICE CHIEF 244

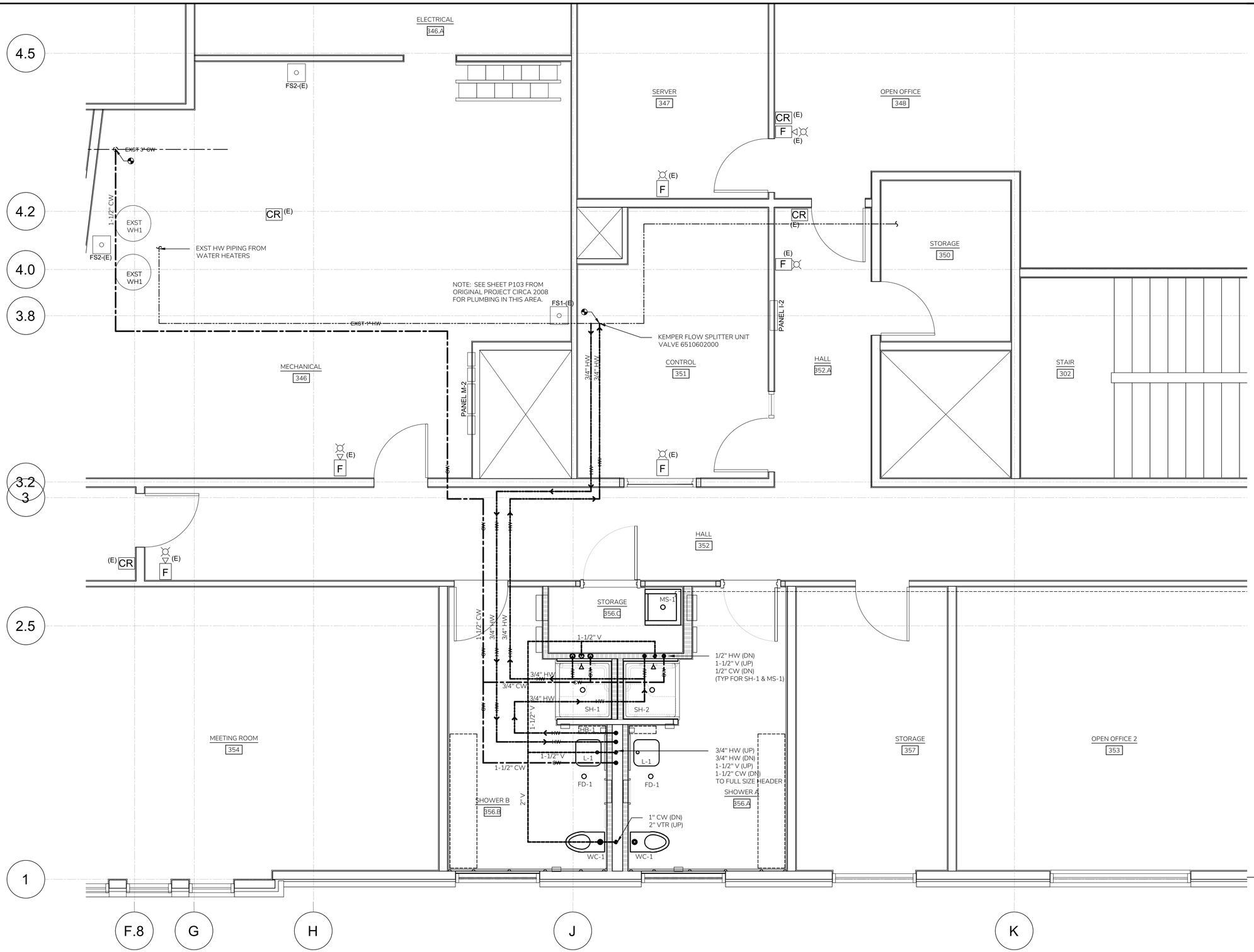
Construction Documents
City of Roseburg
PSC 3rd Floor Improvements

0' 1'-4" 2'-8" 5'-4"
3/8" = 1'-0"

Plumbing Plan
Second Floor - NE
1

PROJECT: 22022
CHECKED: CW
DATE: 10.03.2024 REVISIONS:

Plumbing Plan - Second Floor - NE
P112.3



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REGISTERED PROFESSIONAL ENGINEER
84,267
DIGITALLY SIGNED
OREGON
NOV. 09, 2010
STEVEN GLEN SCHUAL
EXPIRES: 06-30-25

SYSTEMS WEST
ENGINEERS

Construction Documents
City of Roseburg
PSC 3rd Floor Improvements

0' 1'-4" 2'-8" 5'-4"
3/8" = 1'-0"

Plumbing Plan
Third Floor - NE
1

PROJECT: 22022
CHECKED: CW
DATE: 10.03.2024 REVISIONS:

Plumbing Plan - Third Floor - NE
P113.3

VRF AIR COOLED CONDENSER UNIT SCHEDULE (ACU)

TAG	MANUFACTURER & MODEL No.	AMBIENT DESIGN		CAPACITY		EFFICIENCY		SOUND LEVEL (dBA)	UNIT WEIGHT (LBS)	ELECTRICAL				REMARKS
		HEAT (°F)	COOL (°F)	HEAT (mbtu/h)	COOL (mbtu/h)	HEAT (HSPF2)	COOL (SEER2)			VOLTS	PHASE	(1) MCA	(2) MOP	
ACU-1	DAIKIN RXTQ36TBVJUA	22	95	37	34	8.5	15.3	75	172	208	1	17	20	
ACU-2	DAIKIN RXTQ48TBVJUA	22	95	46	44	8.3	14.6	76	176	208	1	29	35	

(1) MAXIMUM CIRCUIT AMPACITY
(2) MAXIMUM OVERCURRENT PROTECTION

EXHAUST FAN

TAG	MANUFACTURER & MODEL No.	TYPE	PERFORMANCE				WHEEL	SOUND LEVEL	MOTOR			MOTOR CNTRL	REMARKS
			AIRFLOW (CFM)	TSP (IN)	SPEED (RPM)	POWER (BHP)	DIA. (IN)	(SONES)	VOLTS	PHASE	HP	(1) (2)	
EF-1	GREENHECK G-090-G	DIRECT DRIVE	390	0.25	1178	0.03	10.875	4.8	115	1	0.04	1	PROVIDE FACTORY MOTOR SPEED CONTROL. PROVIDE MOTORIZED BACKDRAFT DAMPER INTERLOCKED WITH LIGHTING.

(1) MOTOR CONTROL FURNISHED BY DIV. 23.
(2) MS - MOTOR STARTER, VFD - VARIABLE FREQUENCY DRIVE, ECM - ECM MOTOR CONTROLLER, CR - CONTROL RELAY

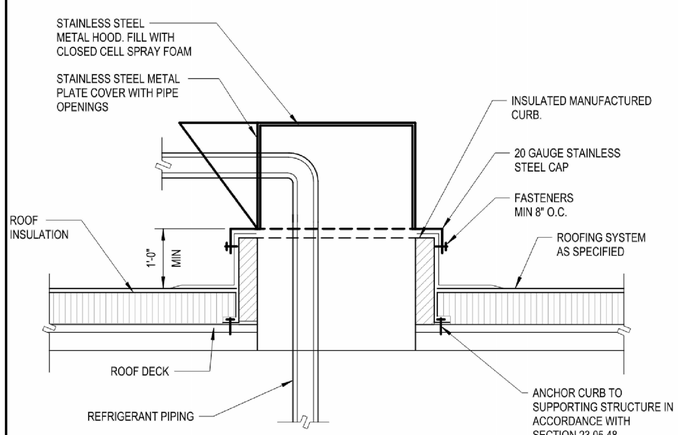
FAN COIL UNIT - VRF

TAG	MANUFACTURER & MODEL No.	TYPE	COND UNIT	THERMAL ZONE	AIR FLOW (CFM)	ESP (IN WC)	HEATING			COOLING				CAP (3)	OSA AIRFLOW (CFM)	SOUND LEVEL (dBA)	FILTER TYPE	UNIT WEIGHT (LBS)	ELECTRICAL				REMARKS
							EAT	LAT	CAP	EAT		LAT							VOLTS	PHASE	MCA (1)	MOP (2)	
							(oF)	(oF)	(MBH)	DB oF	WB oF	DB oF	WB oF	(TONS)									
FC-1	DAIKIN FXTQ12TBVJUD	INDOOR UNIT	ACU-1	1.0000	400	0.90	68.0	99.6	14.0	80.0	64.0	56.4	42.8	0.8	50	36	2" MERV-8	115.0000	208.0000	1.0000	20.5000	25.0000	PROVIDE WITH CONDENSATE PUMP, FACTORY DISCONNECT, 3KW ELECTRIC HEAT.
FC-2	DAIKIN FXTQ12TBVJUD	INDOOR UNIT	ACU-1	2.0000	400	0.90	68.0	99.6	14.0	80.0	64.0	56.4	42.8	0.8	75	36	2" MERV-8	115.0000	208.0000	1.0000	20.5000	25.0000	PROVIDE WITH CONDENSATE PUMP, FACTORY DISCONNECT, 3KW ELECTRIC HEAT.
FC-3	DAIKIN FXTQ12TBVJUD	INDOOR UNIT	ACU-1	3.0000	400	0.90	68.0	99.6	14.0	80.0	64.0	56.4	42.8	0.8	70	36	2" MERV-8	115.0000	208.0000	1.0000	20.5000	25.0000	PROVIDE WITH CONDENSATE PUMP, FACTORY DISCONNECT, 3KW ELECTRIC HEAT.
FC-4	DAIKIN FXTQ09TBVJUD	INDOOR UNIT	ACU-1	4.0000	300	0.90	68.0	100.8	10.9	80.0	64.0	55.9	42.8	0.6	25	36	2" MERV-8	115.0000	208.0000	1.0000	20.5000	25.0000	PROVIDE WITH CONDENSATE PUMP, FACTORY DISCONNECT, 3KW ELECTRIC HEAT.

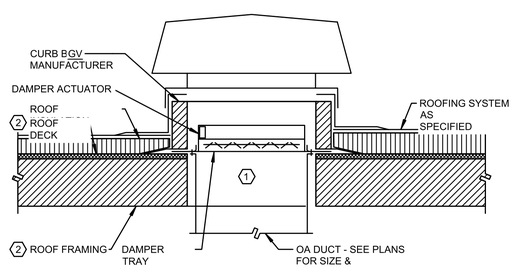
(1) MAXIMUM CIRCUIT AMPACITY
(2) MAXIMUM OVERCURRENT PROTECTION
(3) SENSIBLE COOLING CAPACITY

GRAVITY VENTILATOR SCHEDULE (GV)

TAG No.	MANUFACTURER & MODEL No.	SERVICE	TYPE	PERFORMANCE					OPER. WT. (LBS.)	REMARKS
				AIRFLOW (CFM)	THROAT SIZE (IN)	HOOD SIZE (IN)	SP DROP (IN) DROP	THROAT VELOCITY (FPM)		
GV-1	GREENHECK GRSI-12	OPEN OFFICE	GRAVITY INTAKE VENTILATOR	225	12x12	29	0.04	274	23	PROVIDE FACTORY ROOF CURB. PROVIDE MOTORIZED BACKDRAFT DAMPER INTERLOCKED WITH MECHANICAL EQUIPMENT.



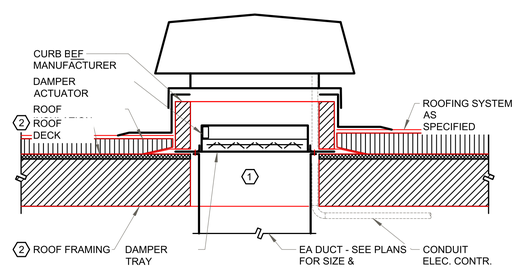
Refrigerant Piping - Roof Penetration 2
NTS



DETAIL REFERENCE NOTES

1. PROVIDE DUCTWORK FLANGE TO ATTACH OA DUCT TO UNDERSIDE OF DAMPER PROVIDE DUCTWORK HANGERS TO SUPPORT WEIGHT OF DUCTWORK.
2. WOOD DECK AND SUPPORTING FRAMING, VERIFY IN FIELD. NOTIFY ARCHITECT IF WOOD DECKING AND FRAMING. DO NOT MODIFY DECK SUPPORTING MEMBERS.

Gravity Ventilator 2
NTS



DETAIL REFERENCE NOTES

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2. WOOD DECK AND SUPPORTING FRAMING, VERIFY IN FIELD. NOTIFY ARCHITECT IF WOOD DECKING AND FRAMING. DO NOT MODIFY DECK SUPPORTING MEMBERS.

Exhaust Fan 1
NTS

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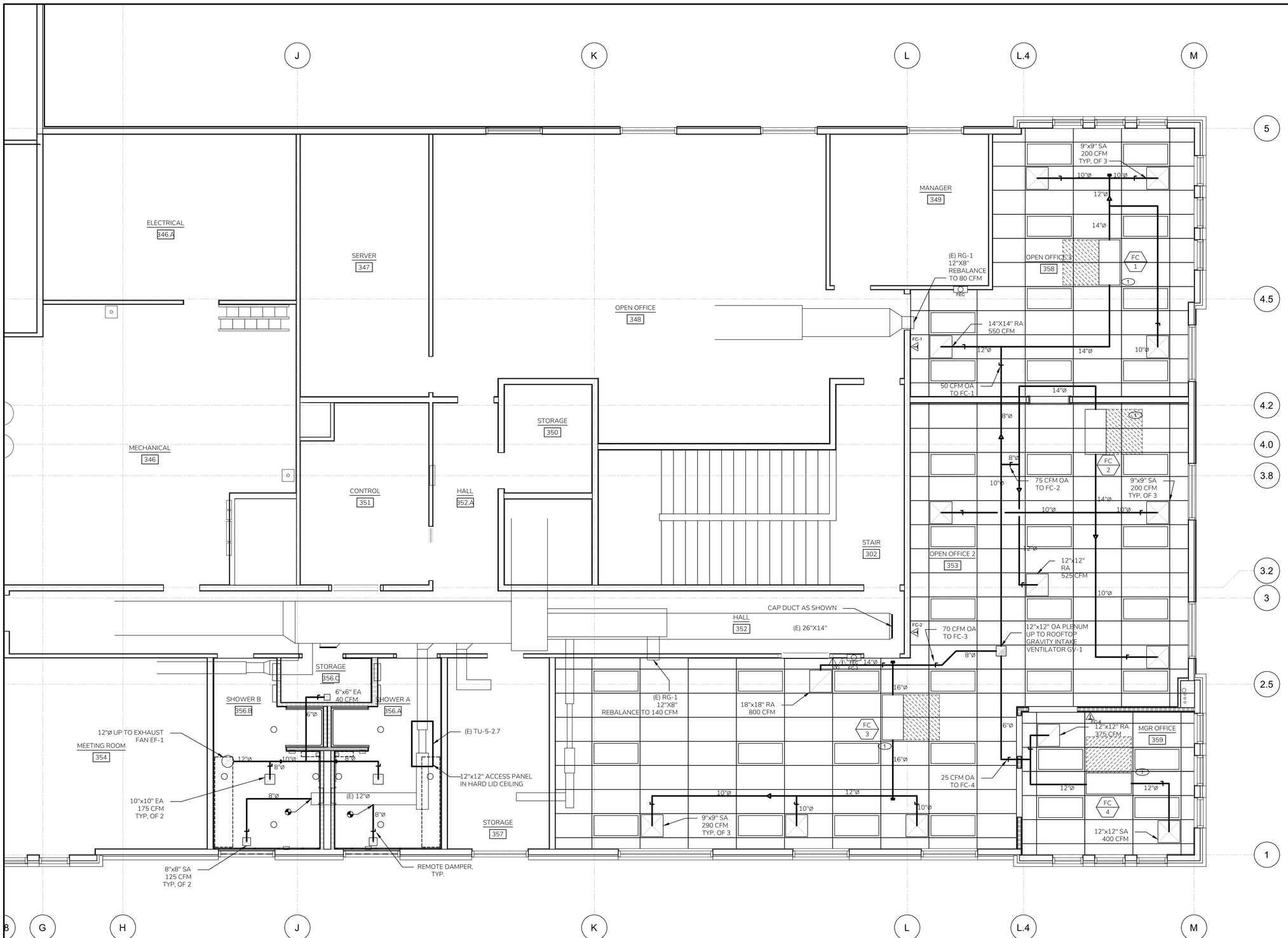
STEVEN GLEN SCHAUL
DIGITALLY SIGNED
NOV. 09, 2018
EXPIRES: 06-30-20

SYSTEMS WEST ENGINEERS

Construction Documents
City of Roseburg
PSC 3rd Floor Improvements

Mechanical Schedule And Legend
PROJECT: 22022
CHECKED: CW
DATE: 10.03.2024 REVISIONS:
M100



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SYSTEMS WEST ENGINEERS

GENERAL NOTES - MECHANICAL PLAN

a. SEE SHEET A129.3 - ROOF PLAN FOR MECHANICAL WORK AT THE ROOF.

KEYNOTES - MECHANICAL PLAN

1. PROVIDE 2" FILTER RACK AT INTAKE

Construction Documents

City of Roseburg

PSC 3rd Floor Improvements

0' 2" 4' 8'

1/4" = 1'-0"

Mechanical Plan
Third Floor - NE

1

PROJECT: 22022 Mechanical Plan - Third Floor - NE

CHECKED: CW

DATE: 10.03.2024 REVISIONS:

M113.3

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STEVEN GLEN SCHUAL
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NOV. 09, 2018
EXPIRES: 06-30-20

SYSTEMS WEST ENGINEERS

GENERAL NOTES - MECHANICAL

a. SEE SHEET A129.3 - ROOF PLAN FOR MECHANICAL WORK AT THE ROOF.

KEYNOTES - MECH PIPING PLAN

1. REFRIGERANT PIPING UP THRU ROOF TO OUTDOOR UNITS ACU-1 AND ACU-2. SEE ROOF PENETRATION DETAILS.
2. REFER TO MANUFACTURER LITERATURE FOR REFRIGERANT PIPING DIAGRAM.

Construction Documents
City of Roseburg
PSC 3rd Floor Improvements

0' 2" 4' 8'
1/4" = 1'-0"

Mechanical Piping Plan
Third Floor - NE

1

PROJECT: 22022
CHECKED: CW
DATE: 10.03.2024 REVISIONS:

Mechanical Piping Plan
Third Floor - NE

M123.3

PANEL SCHEDULE

PANEL: M2

VOLTS: 120/208

LOCATION: Mechanical Room

MOUNTING: Surface

TYPE Eaton PRL 1 **AMPS:** 225

PHASE: 3 **WIRE:** 4

MAIN: Lugs

NOTES: 1. Install new circuit breaker in existing panel space and use to feed new mechanical unit as noted.

DATE: October 5, 2024
PROJECT: Roseburg Public Safety Bldg

LOAD CLASS	Conn. VA	Demand Factor	Demand Load VA
LIGHTING	0	125%	0
OUTLETS	4320	******	7160
MOTOR LOADS	16040		16040
RESISTANCE LOADS	18000		18000

	Connected	Demand****
TOTAL VOLT-AMPS	38,360	41,200
MAXIMUM PHASE AMPS	106.6	114.4

BREAKER A	BREAKER P	DESCRIPTION	WATTS	CIR. NO.	PHASE	CIR. NO.	WATTS	DESCRIPTION	BREAKER P	BREAKER A
15	1	Existing 120 Volt Water Heater`	1000	1	A	2		Spare	2	15
15	1	Existing 120 Volt Water Heater`	1000	3	B	4				
15	1	Water Pump	720	5	C	6	500	EF 20 & 22	1	15
15	2	Spare		7	A	8	360	Existing Receptacle Circuit	1	20
				9	B	10	360	Existing Receptacle Circuit	1	20
15	1	EF 16	720	11	C	12	500	EF Louver, HWP Control	1	20
15	3	EF-1	600	13	A	14	2000	Fan Coil Unit 1 Note 1	2	25
			600	15	B	16	2000			
			600	17	C	18	2000	Fan Coil Unit 2 Note 1	2	25
20	3	HWP-1	1000	19	A	20	2000			
			1000	21	B	22		Spare	1	20
			1000	23	C	24	1000	ACU-2	2	20
20	3	HWP-2	1000	25	A	26	1000			
			1000	27	B	28	700	EF 6, 7, 21	1	20
			1000	29	C	30	700	EF 12, 17	1	20
15	1	EF 3 and EF 4	500	31	A	32	180	Roof Receptacle	1	20
20	1	Boiler Shunt Trip	100	33	B	34	180	Roof Receptacle	1	20
20	2	Boiler	720	35	C	36	2000	Fan Coil Unit 3 Note 1	2	25
			720	37	A	38	2000			
20	2	New VRF Note 1	1800	39	B	40	2000	Fan Coil Unit 4 Note 1	2	25
			1800	41	C	42	2000			

		A	B	C
PHASE TOTALS	Connected VA	12360	10740	15260
	Connected Amps	103.0	89.5	127.2

***** 10kVA at 100%, remainder at 40%
** Demand Load per NEC 220.56

PANEL SCHEDULE

PANEL: M2

VOLTS: 120/208

LOCATION: Mechanical Room

MOUNTING: Surface

TYPE Eaton PRL 1 **AMPS:** 225

PHASE: 3 **WIRE:** 4

MAIN: Lugs

NOTES: 1. Install new circuit breaker in existing panel space and use to feed new mechanical unit as noted.

DATE: October 9, 2024
PROJECT: Roseburg Public Safety Bldg

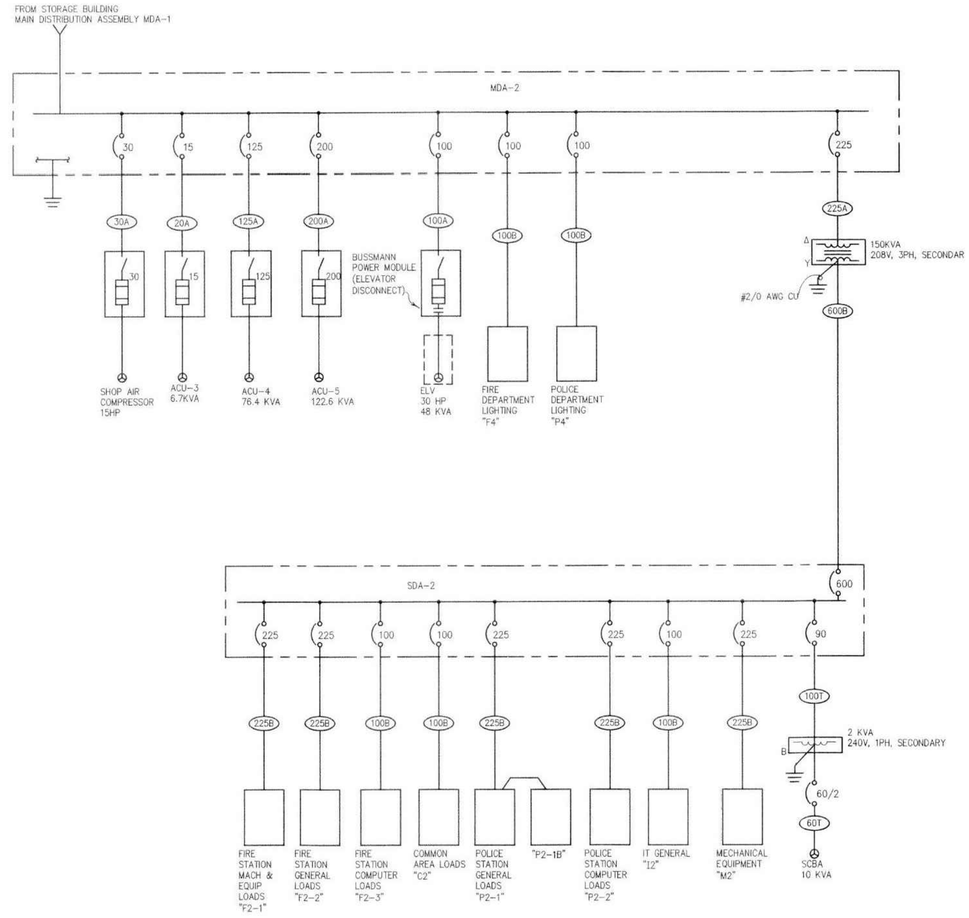
LOAD CLASS	Conn. VA	Demand Factor	Demand Load VA
LIGHTING	0	125%	0
OUTLETS	4320	******	7160
MOTOR LOADS	21176		21176
RESISTANCE LOADS	22640		22640

	Connected	Demand****
TOTAL VOLT-AMPS	48,136	50,976
MAXIMUM PHASE AMPS	133.7	141.6

BREAKER A	BREAKER P	DESCRIPTION	WATTS	CIR. NO.	PHASE	CIR. NO.	WATTS	DESCRIPTION	BREAKER P	BREAKER A
15	1	Existing 120 Volt Water Heater`	1000	1	A	2		Spare	2	15
15	1	Existing 120 Volt Water Heater`	1000	3	B	4				
15	1	Water Pump	720	5	C	6	500	EF 20 & 22	1	15
35	2	New VRF ACU-2 Note 1	2784	7	A	8	360	Existing Receptacle Circuit	1	20
			2784	9	B	10	360	Existing Receptacle Circuit	1	20
15	1	EF 16	720	11	C	12	500	EF Louver, HWP Control	1	20
15	3	EF-1	600	13	A	14	2784	Fan Coil Unit 1 Note 1	2	30
			600	15	B	16	2784			
			600	17	C	18	2784	Fan Coil Unit 2 Note 1	2	30
20	3	HWP-1	1000	19	A	20	2784			
			1000	21	B	22		Spare	1	20
			1000	23	C	24	1000	ACU-2	2	20
20	3	HWP-2	1000	25	A	26	1000			
			1000	27	B	28	700	EF 6, 7, 21	1	20
			1000	29	C	30	700	EF 12, 17	1	20
15	1	EF 3 and EF 4	500	31	A	32	180	Roof Receptacle	1	20
20	1	Boiler Shunt Trip	100	33	B	34	180	Roof Receptacle	1	20
20	2	Boiler	720	35	C	36	2784	Fan Coil Unit 3 Note 1	2	30
			720	37	A	38	2784			
20	2	New VRF ACU-1 Note 1	1584	39	B	40	1968	Fan Coil Unit 4 Note 1	2	25
			1584	41	C	42	1968			

		A	B	C
PHASE TOTALS	Connected VA	17496	14060	16580
	Connected Amps	145.8	117.2	138.2

***** 10kVA at 100%, remainder at 40%
** Demand Load per NEC 220.56



ROSEBURG PUBLIC SAFETY CENTER ONE LINE

SCALE: NONE

ONE LINE DIAGRAM NOTES

a. ALL PANELS SHOWN ON ONE LINE DIAGRAM ARE EXISTING. ADD NEW CIRCUIT BREAKERS TO EXISTING PANELS PER PANEL SCHEDULES.. AIC RATING OF NEW BREAJERS SHALL BE MINIMUM OF 10,000A

b. OWNER TO PROVIDE 30 DAY MONITORING DATA FOR EXISITNG 600 AMP FEEDER SERVING DISTRIBUTION PANEL SDA-2.

LIGHT FIXTURE SCHEDULE

FIXTURE TYPE	Description	Manufacturer Catalog Number	VOLT RATING	WATTAGE	Mounting	Notes
D	LED DOWNLIGHT SWITCHABLE	LITHONIA LDN 4 SERIES AL02 L04 AR	277	19	RECESSED	CONNECT TO EXISTING CIRCUIT
P	EXISTING PENDANT LED TO BE RFED		277		RECESSED	CONNECT TO EXISTING CIRCUIT
S	SURFACE MOUNTED LED STRIP LIGHTING	LITHONIA CLX L48 4000L RDL	277	26	SURFACE	CONNECT TO EXISTING CIRCUIT
T	2 X 4 LED TROFFER	LITHONIA 2ALL4 40L EZ1 LP835	277	32	RECESSED	CONNECT TO EXISTING CIRCUIT
V	LED LIGHT FORM	LITHONIA FMVTRL 24"30K	277	17	SURFACE	CONNECT TO EXISTING CIRCUIT

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REGISTERED PROFESSIONAL ENGINEER 12699 JAMES KRUMSICK OREGON SEPT. 21, 1984 JAMES P. KRUMSICK

EXP: 9/30/2025

Construction Documents
City of Roseburg
PSC 3rd Floor Improvements

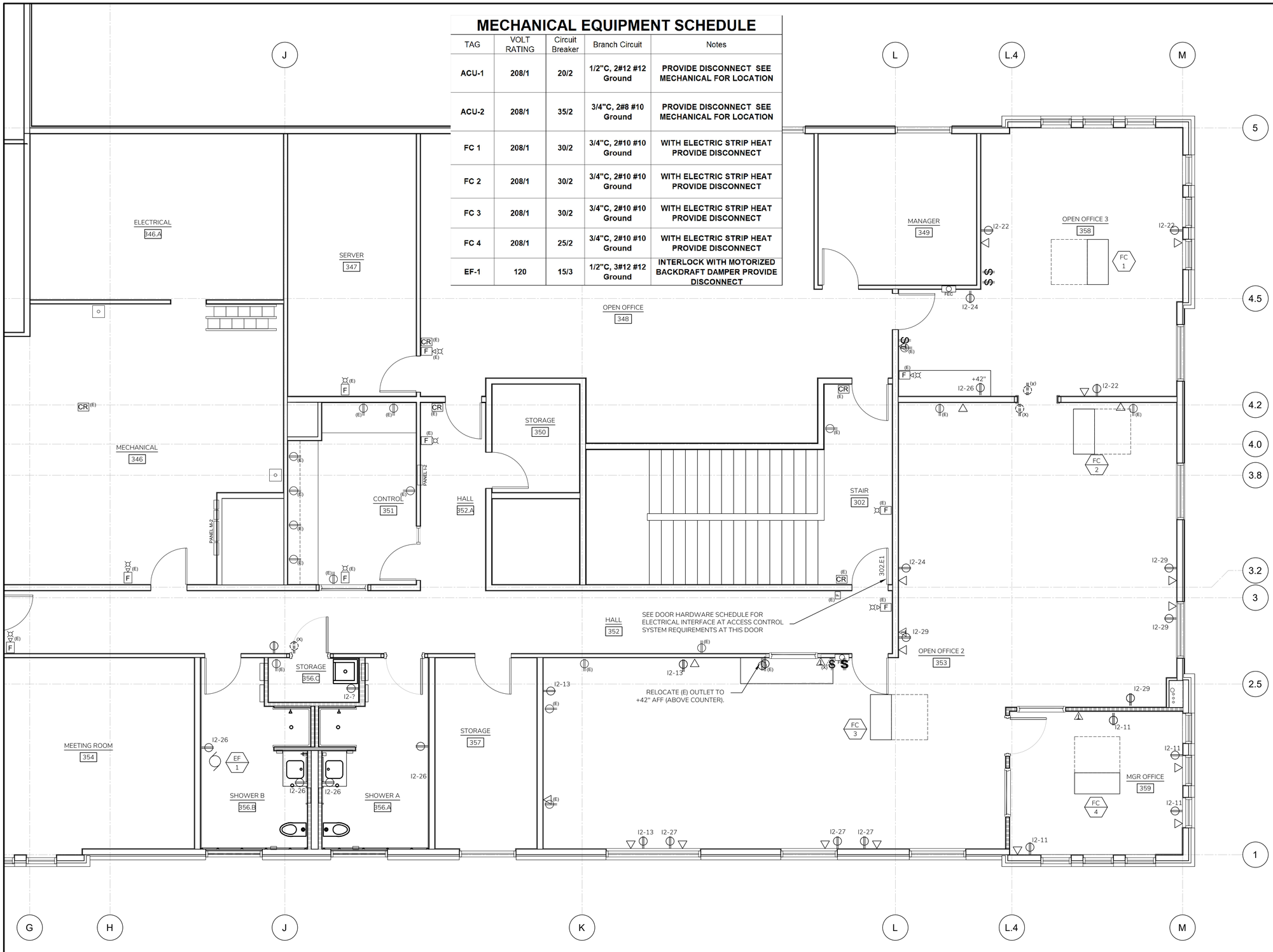
Electrical Schedule And Legend

PROJECT: 22022
CHECKED: CW
DATE: 10.03.2024 REVISIONS:

E100

MECHANICAL EQUIPMENT SCHEDULE

TAG	VOLT RATING	Circuit Breaker	Branch Circuit	Notes
ACU-1	208/1	20/2	1/2"C, 2#12 #12 Ground	PROVIDE DISCONNECT SEE MECHANICAL FOR LOCATION
ACU-2	208/1	35/2	3/4"C, 2#8 #10 Ground	PROVIDE DISCONNECT SEE MECHANICAL FOR LOCATION
FC 1	208/1	30/2	3/4"C, 2#10 #10 Ground	WITH ELECTRIC STRIP HEAT PROVIDE DISCONNECT
FC 2	208/1	30/2	3/4"C, 2#10 #10 Ground	WITH ELECTRIC STRIP HEAT PROVIDE DISCONNECT
FC 3	208/1	30/2	3/4"C, 2#10 #10 Ground	WITH ELECTRIC STRIP HEAT PROVIDE DISCONNECT
FC 4	208/1	25/2	3/4"C, 2#10 #10 Ground	WITH ELECTRIC STRIP HEAT PROVIDE DISCONNECT
EF-1	120	15/3	1/2"C, 3#12 #12 Ground	INTERLOCK WITH MOTORIZED BACKDRAFT DAMPER PROVIDE DISCONNECT



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LEGEND -ELEC. AND LOW VOLTAGE

LIGHTING CONTROL
- $D WALL-MOUNTED DIMMER SWITCH
- $E EXISTING SWITCH
- $X DEMO SWITCH
- LV LOW VOLTAGE SWITCH STATION
- DS SINGLE ZONE DAYLIGHT SWITCH
- OS WALL-MOUNTED OCCUPANCY SENSOR
- OS WALL-MOUNTED OCCUPANCY SENSOR WITH DIMMER SWITCH
- OS CEILING-MOUNTED OCCUPANCY SENSOR

POWER
- NEW POWER RECEPTACLE
- E EXST POWER RECEPTACLE
- X DEMO POWER RECEPTACLE

COMMUNICATION AND DATA
- DATA PORT
- RL WAP EXST WIRE ACCESS PORT, RELOCATE
- WAP CLG-MOUNT WIRE ACCESS PORT

FIRE ALARM
- F FIRE ALARM HORN
- F FIRE ALARM STROBE
- FACP FIRM ALARM CONTROL PANEL
- F FIRE ALARM STROBE
- SD SMOKE DETECTOR
- F FIRE ALARM MANUAL PULL STATION

Construction Documents
City of Roseburg
PSC 3rd Floor Improvements

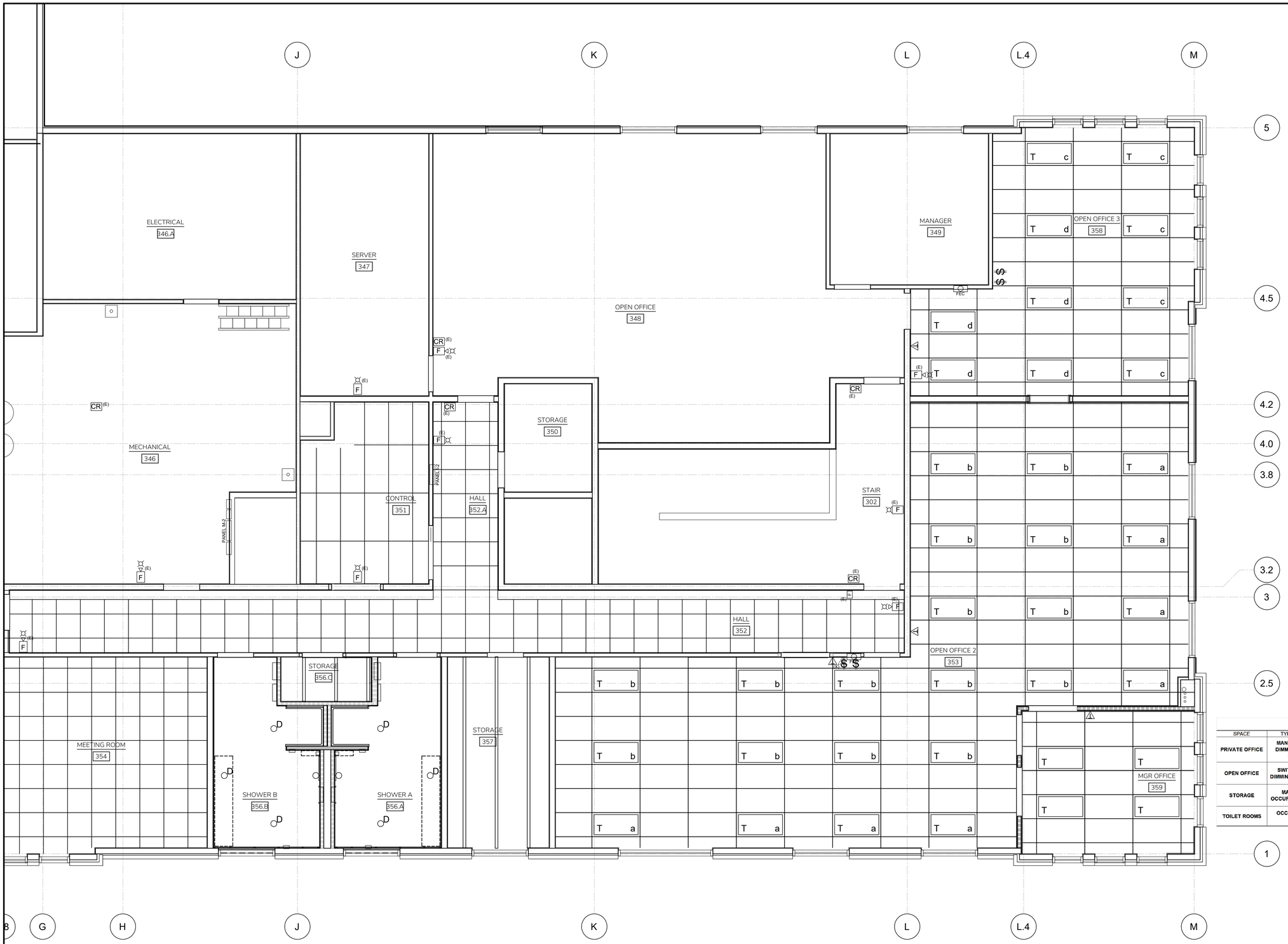
0' 2" 4' 8'
1/4" = 1'-0"

Electrical Plan
Third Floor - NE
1

PROJECT: 22022
CHECKED: CW
DATE: 10.03.2024 REVISIONS:

Electrical Plan - -Third Floor - NE

E113.3



LIGHTING CONTROL MATRIX

SPACE	TYPE OF CONTROL	CONTROL DEVICE	Notes
PRIVATE OFFICE	MANUAL ON, MANUAL DIMMING, OCCUPANCY SENSOR OFF	WALL MTD OCCUPANCY SENSOR/DIMMER	CONNECT TO UNSWITCHED LIGHTING CIRCUIT P4-9
OPEN OFFICE	SWITCH ON, MANUAL DIMMING, TIME CLOCK OFF	WALL DIMMER TIME CLOCK CONTROLLED RELAY	RUN LIGHTING CIRCUIT THROUGH TIME CLOCK CONTROLLED RELAY
STORAGE	MANUAL ON / OFF OCCUPANCY SENSOR OFF	WALL MOUNTED OCCUPANCY SENSOR	CONNECT TO UNSWITCHED LIGHTING CIRCUIT P4-9
TOILET ROOMS	OCCUPANCY SENSOR ON/OFF	CEILING MOUNTED OCCUPANCY SENSOR	CONNECT TO UNSWITCHED LIGHTING CIRCUIT P4-9

GENERAL NOTES - LIGHTING PLAN

a. REMOVE EXISTING LIGHT FIXTURES IN ROOMS HSOWN WITH NEW LIGHT FIXTURES. REUSEEXISTING 277 VOLT LIGHTING CIRCUIT.P4-9, TO SERVE NEW FIXTURES. REFEED EXISTING LIGHT FIXTURE IN OFFICE 349 WITH THIS CIRCUIT. SEE CONTROL MATRIX FOR SWITCHING.

b. SEE SHEET E100 FOR LIGHT FIXTURE TYPES.

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PSC 3rd Floor Improvements

0' 2" 4' 8'
1/4" = 1'-0"

Ceiling Plan
Third Floor - NE
1

PROJECT: 22022
CHECKED: CW
DATE: 10.03.2024 REVISIONS:

Ceiling Plan - Third Floor - NE

E123.3